



SURVEYOR'S OFFICE

Hamilton County

Kenton C. Ward, CFM
Surveyor of Hamilton County
Phone (317) 776-8495
Fax (317) 776-9628

Suite 188
One Hamilton County Square
Noblesville, Indiana 46060-2230

July 30, 2012

To: Hamilton County Drainage Board

Re: Little Eagle Creek Drain, Maple Village Section 4B Arm

Attached is a petition filed by Platinum Properties, LLC, along with a non-enforcement request, plans, calculations, quantity summary and assessment roll for the Maple Village Section 4B Arm, Little Eagle Creek Drain to be located in Washington Township. I have reviewed the submittals and petition and have found each to be in proper form.

I have made a personal inspection of the land described in the petition. Upon doing so, I believe that the drain is practicable, will improve the public health, benefit a public highway, and be of public utility and that the costs, damages and expenses of the proposed drain will probably be less than the benefits accruing to the owners of land likely to be benefited. The drain will consist of the following:

12" RCP	1,005 ft.	6" SSD	4,246 ft.
18" RCP	270 ft.		

The total length of the drain will be 5,521 feet.

The subsurface drains (SSD) to be part of the regulated drain are those located under the curbs and those main lines in rear yards. Only the main SSD lines which are located within the easement or right of way are to be maintained as regulated drain. Laterals for individual lots will not be considered part of the regulated drain. The portion of the SSD which will be regulated other than those under curbs are as follows:

Rear yard lots 234 to 244
Rear yard lots 244 to 252
Rear yard lots 253 to 260
Rear yard lots 269 to 270
Rear yard lots 276 to 280

I have reviewed the plans and believe the drain will benefit each lot equally. Therefore, I recommend each lot be assessed equally. I also believe that no damages will result to landowners by the construction of this drain. I recommend a maintenance assessment of \$65.00 per platted lot, \$10.00 per acre for common areas, with a \$65.00 minimum, and \$10.00 per acre for roadways. With this assessment the total annual assessment for this drain/this section will be \$2969.40.

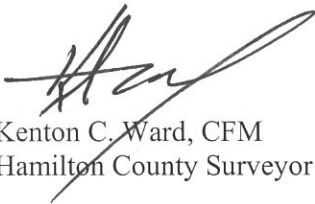
The petitioner has submitted surety for the proposed drain at this time. The sureties which are in the form of a Performance Bond from contractor and cash bond from developer are as follows:

Agent: Merchants Bonding Company
Date: July 6, 2012
Number: INC 45426
For: Storm Sewers & Sub-Surface Drains
Amount: \$80,892.00

I believe this proposed drain meets the requirements for Urban Drain Classification as set out in IC 36-9-27-67 to 69. Therefore, this drain shall be designated as an Urban Drain.

I recommend that upon approval of the above proposed drain that the Board also approve the attached non-enforcement request. The request will be for the reduction of the regulated drain easement to those easement widths as shown on the secondary plat for Maple Village (aka Sonoma) Section 4B as recorded in the office of the Hamilton County Recorder.

I recommend the Board set a hearing for this proposed drain for September 26, 2012.



Kenton C. Ward, CFM
Hamilton County Surveyor

KCW/pll

STATE OF INDIANA)
)
COUNTY OF HAMILTON)

TO: HAMILTON COUNTY DRAINAGE BOARD
% Hamilton County Surveyor
One Hamilton County Square, Suite 188
Noblesville, IN. 46060-2230

In the matter of Maple Village Subdivision, Section
4A & 4B Drain Petition.

Petitioner is the owner of all lots in the land affected by the proposed new regulated drain. The drainage will affect various lots in Maple Village, Sections 4A & 4B, a subdivision in Hamilton County, Indiana. The general route of such drainage shall be in existing easements and along public roads as shown in the plans on file in the Surveyor's Office.

Petitioner believes that the cost, damages and expenses of the proposed improvement will be less than the benefits which will result to the owners of the land likely to be benefited thereby. Petitioner believes the proposed improvements will:

- (a) improve public health
- (b) benefit a public street
- (c) be of public utility

Petitioner agrees to pay the cost of construction of the drainage system and requests periodic maintenance assessments by the Board thereafter.

The Petitioner also agrees to the following:

1. To provide the Drainage Board a Performance Bond or Non-Revocable Letter of Credit for the portion of the drainage system which will be made a regulated drain. The bond will be in the amount of 120% of the Engineer's estimate. The bond will be in effect until construction of 100% of the system is completed and so certified by the Engineer.
2. The Petitioner shall retain an Engineer throughout the construction phase. At completion of the project the Petitioner's Engineer shall certify that the drainage system which is to be maintained as a regulated drain has been constructed as per construction plans.
3. The Petitioner agrees to request in writing to the County Surveyor any changes from the approved plan and must receive written authorization from the County Surveyor prior to implementation of the change. All changes shall be documented and given to the Surveyor to be placed in the Drain file.
4. The Petitioner shall instruct his Engineer to provide a reproducible print on a 24" x 36" Mylar of the final design of the Drainage System. This shall be submitted to the County Surveyor prior to the release of the Performance Bond.
5. The Petitioner shall comply with the Erosion Control Plan as specified on the construction plans. Failure to comply with the Erosion Control Plan shall be determined by the Board as being an obstruction to the drainage system. The County Surveyor shall immediately install or repair the needed measures at Petitioners cost as per IC 36-9-27-46.

The Petitioner further requests that the Drain be classified as an Urban Drain as per IC 36-9-27-69(d).

RECORDED OWNER(S) OF LAND INVOLVED



Signed

Kenneth Brasseur

Printed Name

July 1, 2011

Date

Signed

Printed Name

Date

Signed

Printed Name

Date

Signed

Printed Name

Date

FINDINGS AND ORDER


CONCERNING THE MAINTENANCE OF THE

Little Eagle Creek Drain, Maple Village Section 4B Arm

On this 26th day of September, 2012, the Hamilton County Drainage Board has held a hearing on the Maintenance Report and Schedule of Assessments of the **Little Eagle Creek Drain, Maple Village Section 4B Arm.**

Evidence has been heard. Objections were presented and considered. The Board then adopted the original/amended Schedule of Assessments. The Board now finds that the annual maintenance assessment will be less than the benefits to the landowners and issues this order declaring that this Maintenance Fund be established.

HAMILTON COUNTY DRAINAGE BOARD



President



Member

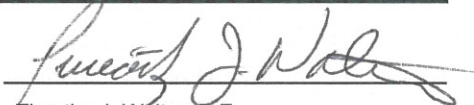
Member

Attest: 



Maple Village Section 4B (AKA Sonoma)
 Engineers Estimate - Storm Sewers & Monumentation
 Prepared on: 3/29/12

Item	Unit	Unit Cost	Quantities	Cost
Storm Drainage				
12" Pipe	LF	\$ 19.00	977	\$ 18,563
12" End Section	EA	\$ 950.00	1	\$ 950
12" Trash Guard	EA			\$ -
18" Pipe	LF	\$ 22.50	270	\$ 6,075
18" End Section	EA		0	\$ -
18" Trash Guard	EA		0	\$ -
24" Pipe	LF		0	\$ -
24" End Section	EA		0	\$ -
24" Trash Guard	EA		0	\$ -
Standard Storm Manholes	EA		0	\$ -
Large Storm Manholes & Double Inlets	EA	\$ 1,700.00	4	\$ 6,800
Storm Inlets	EA	\$ 1,400.00	6	\$ 8,400
Sand Backfill and Bedding	TON	\$ 10.00	120.00	\$ 1,200
Sub-total				\$ 41,990
Sub-surface Drains - under curb	LF	\$ 5.25	2,600	\$ 13,650
Sub-surface Drains - swales	LF	\$ 5.25	1,246	\$ 6,550
Sub-surface Drains - sump laterals	EA		0	\$ -
Total				\$ 62,190
Monuments & Markers				
Lot Corner Monuments	LOT	\$ 100.00	42.00	\$ 4,200
Street Centerline Monumentation	EA	\$ 170.00	6.00	\$ 1,020
Total				\$ 5,220
Erosion Control				
--> Not Applicable - Property annexed by Town of Westfield and governed by Westfield MS4 permit.			NA	NA
Total				\$ -
Grand Total				\$ 67,410
Per Hamilton County Ordinance - Bond Amount				120% \$ 80,892

BY: 
 Timothy J. Walter, P.E.
 Indiana Registration No. 19900152



MERCHANTS BONDING COMPANY™

MERCHANTS BONDING COMPANY (MUTUAL) • MERCHANTS NATIONAL BONDING, INC.
2100 FLEUR DRIVE • DES MOINES, IOWA 50321-1158 • (800) 678-8171 • (515) 243-3854 FAX

SUBDIVISION BOND

Bond No. INC 45426

KNOW ALL PERSONS BY THESE PRESENTS:

THAT we, D & R Excavating, Inc. dba Earth Resources

as Principal, and Merchants Bonding Company (Mutual) of Des Moines, Iowa (hereinafter called the Surety) are held and firmly bound unto the Hamilton County Board of Commissioners

as Obligee, in the penal sum of Eighty Thousand Eight Hundred Ninety Two Dollars

dollars (\$80,892.00), lawful money of the United States to the payment of which sum well and truly to be made, the Principal herein firmly binds himself (themselves), their heirs, executors, and administrators, and the said Surety binds itself, its successors, assigns, executors and administrators, jointly and severally, firmly by these presents.

NOW THE CONDITION OF THIS OBLIGATION IS SUCH, THAT, whereas the above bounden Principal is platting certain lots entitled Sonoma Section 4B

being an official plat lying within the City of Westfield
County of Hamilton, State of Indiana.

WHEREAS, the above bounden Principal has agreed with the Obligee to install the following improvements:

Storm Sewer, Subsurface Drain, Monuments and Markers

ALL such improvements to be completed in accordance with an agreement between the Principal and the Obligee.

NOW, if the Principal shall in all respects fulfill this said obligation according to the terms thereof, and shall satisfy all claims and demands incurred for same, and shall fully indemnify and save harmless the Obligee from all costs and damages which it may suffer by reason of failure to do so and shall fully reimburse and repay the Obligee all outlays and expenses which it may incur in making good any such default, then this obligation is to be void and of no effect; otherwise to remain in full force and effect.

IN WITNESS WHEREOF, we have hereunto set our hands and seals this 6th
day of July, 20 12.

D & R Excavating, Inc. dba Earth Resources
Principal

By [Signature]

Merchants Bonding Company (Mutual)

By [Signature]
Carolyn J Waggoner Attorney-in-Fact

CON 0303 (2/12)

MERCHANTS
BONDING COMPANY
POWER OF ATTORNEY

Bond #: INC 45426



Know All Persons By These Presents, that MERCHANTS BONDING COMPANY (MUTUAL) and MERCHANTS NATIONAL BONDING, INC., both being corporations duly organized under the laws of the State of Iowa (herein collectively called the "Companies"), and that the Companies do hereby make, constitute and appoint, individually,

Carolyn J Waggoner

of **Indianapolis** and State of **IN** their true and lawful Attorney-in-Fact, with full power and authority hereby conferred in their name, place and stead, to sign, execute, acknowledge and deliver in their behalf as surety any and all bonds, undertakings, recognizances or other written obligations in the nature thereof, subject to the limitation that any such instrument shall not exceed the amount of:

TEN MILLION (\$10,000,000.00) DOLLARS

and to bind the Companies thereby as fully and to the same extent as if such bond or undertaking was signed by the duly authorized officers of the Companies, and all the acts of said Attorney-in-Fact, pursuant to the authority herein given, are hereby ratified and confirmed.

This Power-of-Attorney is made and executed pursuant to and by authority of the following By-Laws adopted by the Board of Directors of the Merchants Bonding Company (Mutual) on April 23, 2011 and adopted by the Board of Directors of Merchants National Bonding, Inc., on October 24, 2011.

"The President, Secretary, Treasurer, or any Assistant Treasurer or any Assistant Secretary or any Vice President shall have power and authority to appoint Attorneys-in-Fact, and to authorize them to execute on behalf of the Company, and attach the seal of the Company thereto, bonds and undertakings, recognizances, contracts of indemnity and other writings obligatory in the nature thereof.

The signature of any authorized officer and the seal of the Company may be affixed by facsimile or electronic transmission to any Power of Attorney or Certification thereof authorizing the execution and delivery of any bond, undertaking, recognizance, or other suretyship obligations of the Company, and such signature and seal when so used shall have the same force and effect as though manually fixed."

In Witness Whereof, the Companies have caused this instrument to be signed and sealed this 2nd day of March, 2012.



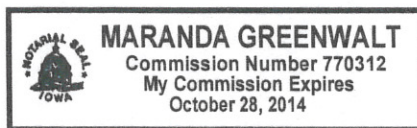
MERCHANTS BONDING COMPANY (MUTUAL)
MERCHANTS NATIONAL BONDING, INC.

By *Larry Taylor*
President

STATE OF IOWA
COUNTY OF POLK ss.

On this 2nd day of March, 2012, before me appeared Larry Taylor, to me personally known, who being by me duly sworn did say that he is President of the MERCHANTS BONDING COMPANY (MUTUAL) and MERCHANTS NATIONAL BONDING, INC.; and that the seals affixed to the foregoing instrument is the Corporate Seals of the Companies; and that the said instrument was signed and sealed in behalf of the Companies by authority of their respective Boards of Directors.

In Testimony Whereof, I have hereunto set my hand and affixed my Official Seal at the City of Des Moines, Iowa, the day and year first above written.



Maranda Greenwalt
Notary Public, Polk County, Iowa

STATE OF IOWA
COUNTY OF POLK ss.

I, William Warner, Jr., Secretary of the MERCHANTS BONDING COMPANY (MUTUAL) and MERCHANTS NATIONAL BONDING, INC., do hereby certify that the above and foregoing is a true and correct copy of the POWER-OF-ATTORNEY executed by said Companies, which is still in full force and effect and has not been amended or revoked.

In Witness Whereof, I have hereunto set my hand and affixed the seal of the Companies on this 6th day of July, 2012.



William Warner Jr.
Secretary

POA 0014 (11/11)

This copy is from the Digital Archive of the Hamilton County Surveyor's Office; Noblesville, In 46060

BEFORE THE HAMILTON COUNTY DRAINAGE BOARD
IN THE MATTER OF

Little Eagle Creek Drain, Maple Village Section 4B Arm

NOTICE

To Whom It May Concern and: _____

Notice is hereby given of the hearing of the Hamilton County Drainage Board on the **Little Eagle Creek Drain, Maple Village Section 4B Arm** on **September 26, 2012** at **9:00 A.M.** in Commissioners Court, Hamilton County Judicial Center, One Hamilton County Square, Noblesville, Indiana, and which construction and maintenance reports of the Surveyor and the Schedule of Assessments made by the Drainage Board have been filed and are available for public inspection in the office of the Hamilton County Surveyor.

Hamilton County Drainage Board

Attest: Lynette Mosbaugh

ONE TIME ONLY

BEFORE THE HAMILTON COUNTY DRAINAGE BOARD
IN THE MATTER OF THE

Little Eagle Creek Drain, Maple Village Section 4B Arm

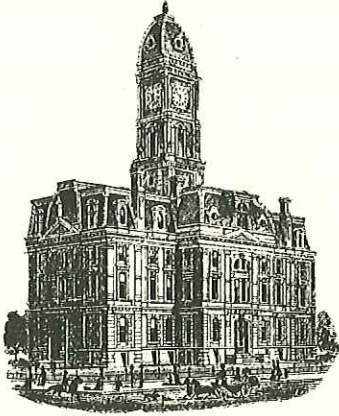
NOTICE

Notice is hereby given pursuant to Section 405 of the 1965 Indiana Drainage Code that this Board, prior to final adjournment on **September 26, 2012** has issued an order adopting the Schedule of Assessments, filed the same and made public announcement thereof at the hearing and ordered publication. If judicial review of the findings and order of the Board is not requested pursuant to Article Eight of this code within twenty (20) days from the date of this publication, the order shall be conclusive.

Hamilton County Drainage Board

Attest: Lynette Mosbaugh

ONE TIME ONLY



Kenton C. Ward, CFM
Surveyor of Hamilton County
Phone (317) 776-8495
Fax (317) 776-9628

Suite 188
One Hamilton County Square
Noblesville, Indiana 46060-2230

To: Hamilton County Drainage Board

August 20, 2013

Re: Little Eagle Creek Drain: Maple Village Section 4B

Attached are as-builts, certificate of completion & compliance, and other information for Maple Village Section 4A. An inspection of the drainage facilities for this section has been made and the facilities were found to be complete and acceptable.

During construction, changes were made to the drain, which will alter the plans submitted with my report for this drain-dated July 30, 2012. The report was approved by the Board at the hearing held September 26, 2012. (See Drainage Board Minutes Book 14, Pages 284-286) The changes are as follows:
The 12" RCP was shortened from 1005 feet to 1004 feet. The 18" RCP was shortened from 270 feet to 269 feet. The 6" SSD was shortened from 4246 feet to 3653 feet.
The length of the drain due to the changes described above is now **4926 feet**.


The non-enforcement was approved by the Board at its meeting on September 26, 2012 and recorded under instrument #2012070228.

The following sureties were guaranteed by Merchants Bonding Company and released by the Board on its January 28, 2013 meeting.

Bond-LC No: INC45426
Insured For: Storm Sewers, SSD, and Monuments & Markers
Amount: \$80,892
Issue Date: July 6, 2012

I recommend the Board approve the drain's construction as complete and acceptable.

Sincerely,



Kenton C. Ward, CFM
Hamilton County Surveyor

KCW/slm

CERTIFICATE OF COMPLETION AND COMPLIANCE

To: Hamilton County Surveyor

FILED

NOV 01 2012

Re: **Maple Village, Section 4B**

OFFICE OF HAMILTON COUNTY SURVEYOR

I hereby certify that:

1. I am a Registered Land Surveyor or Engineer in the State of Indiana.
2. I am familiar with the plans and specifications for the above referenced subdivision.
3. I have personally observed and supervised the completion of the drainage facilities for the above referenced subdivision.
4. The drainage facilities within the above referenced subdivision to the best of my knowledge, information and belief have been installed and completed in conformity with all plans and specifications.
5. The drainage facilities within the above referenced subdivision to the best of my knowledge, information and belief have been correctly represented on the Record Drawings, Digital Record Drawings and the Structure Data Spreadsheet.

Signature: _____



Date: October 31, 2012

Type or Print Name: Dennis D. Olmstead

Business Address: Stooppelwerth & Associates, Inc.

9765 East 106th Street, Fishers, Indiana 46038

Telephone Number: (317) 849-5935

SEAL



INDIANA REGISTRATION NUMBER

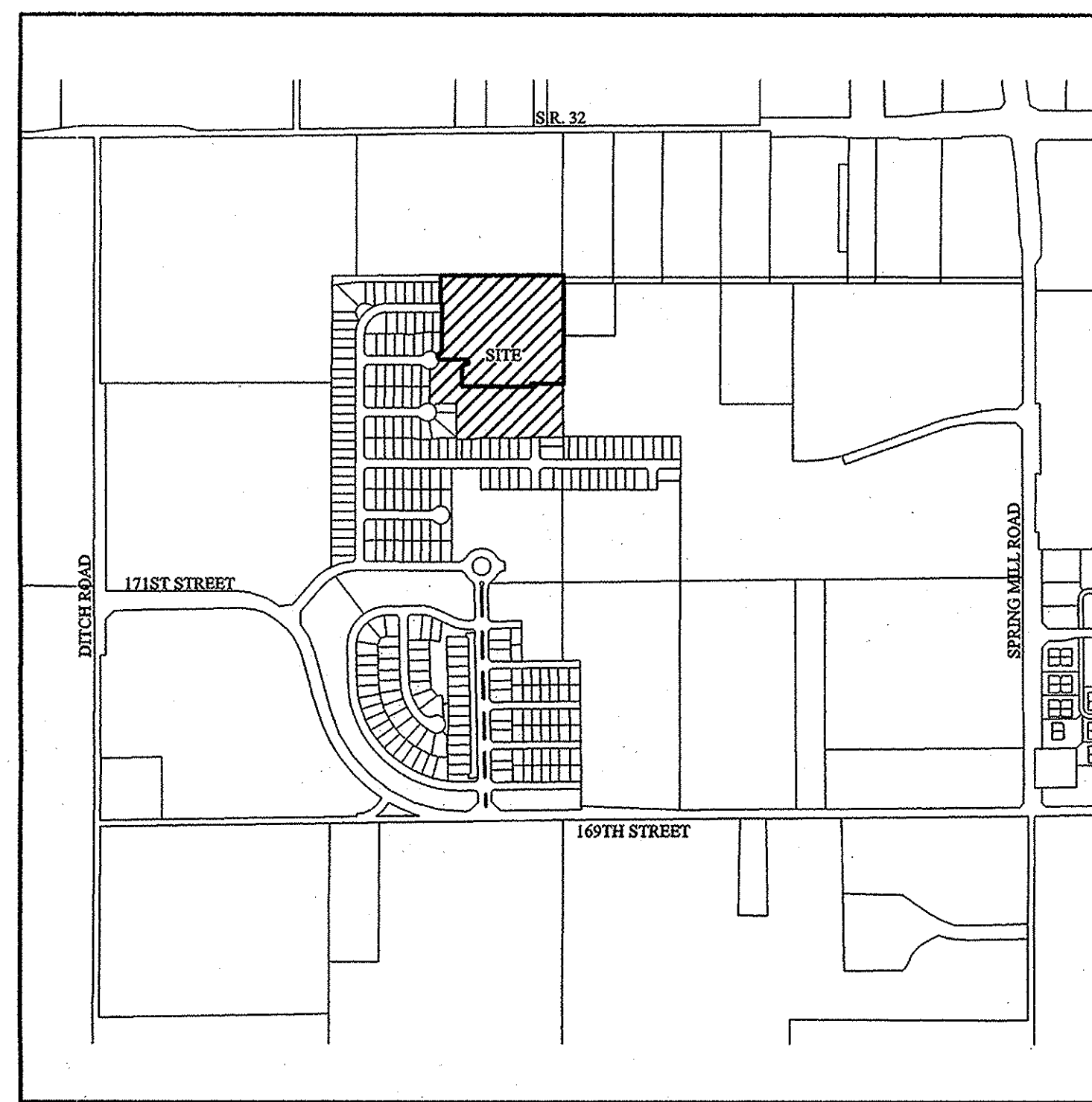
900012

MAPLE VILLAGE SECTION 4A & 4B (A.K.A. SONOMA)

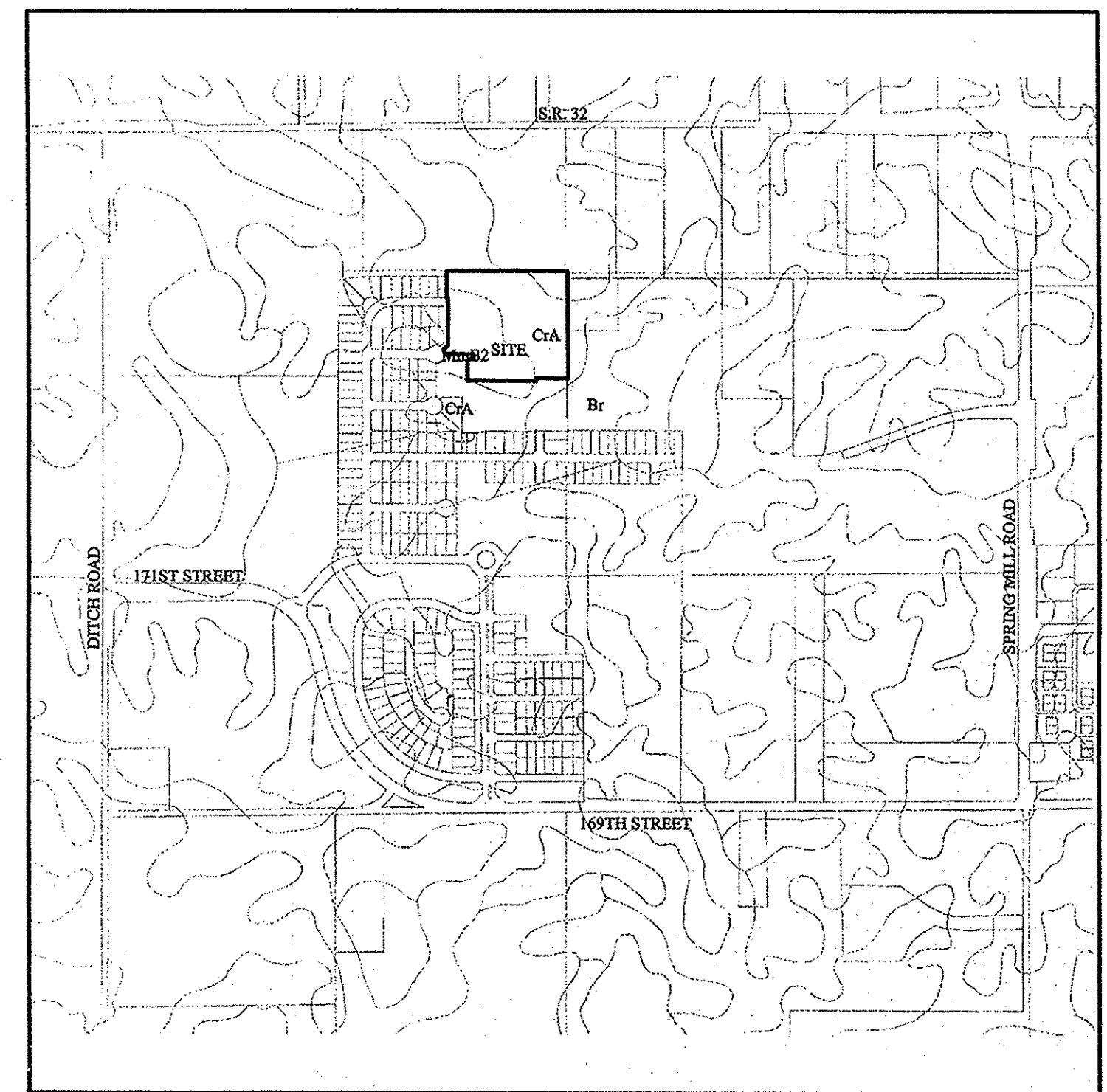
Developed by:
Platinum Properties L.L.C.
9757 Westpoint Drive, Suite 600
Indianapolis, Indiana 46256
Phone: (317) 863-2057
Contact Person: Tim Walter

**RECORD DRAWING
SECTION 4B ONLY**

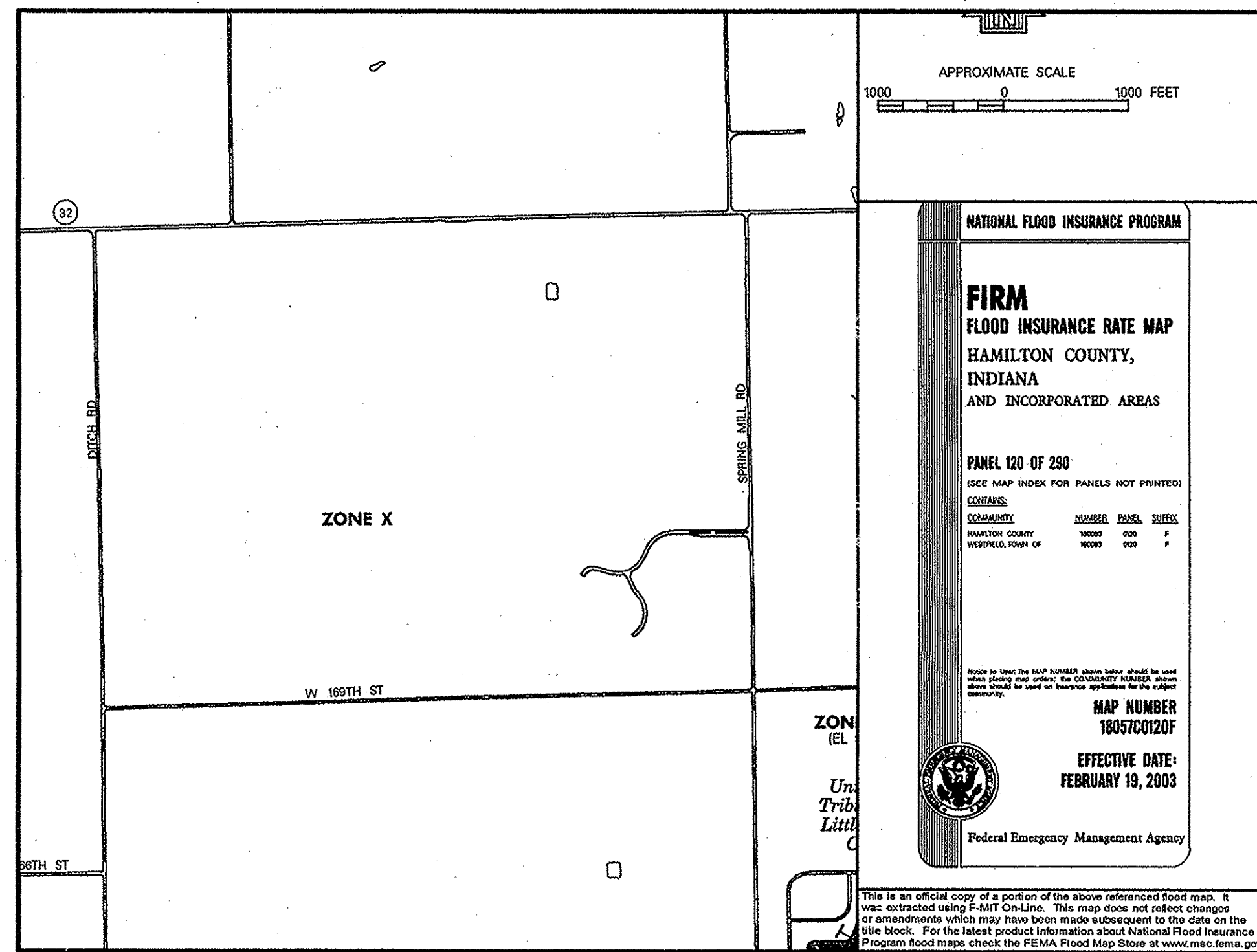
Dennis D. Olmstead
DENNIS D. OLMSTEAD
Registered Land Surveyor
No. 900012
11/15/2012
DATE



LOCATION MAP
SCALE: 1" = 800'



SOILS MAP
SCALE: 1" = 300'



Flood Map
(NOT TO SCALE)

INDEX	
SHT.	DESCRIPTION
C001	COVER SHEET
C100	TOPOGRAPHICAL SURVEY
C200-C202	SITE DEVELOPMENT PLANS
C300-C307	EROSION CONTROL PLANS & SPECIFICATIONS
C400-C403	STREET PLAN & PROFILES / INTERSECTION DETAILS / TRAFFIC PLAN
C500-C501	SANITARY SEWER PLAN & PROFILES
C600-C603	STORM SEWER PLAN & PROFILES
C700-C701	WATER PLANS / WATER DETAILS
C800-C805	CONSTRUCTION DETAILS
	SANITARY
	STORM
	STREET
	SPECIFICATIONS

REVISIONS	
SHT.	DESCRIPTION
ALL	REVISED PER TAC COMMENTS 8/1/11 BAH
ALL	REVISE STORM EAST SIDE OF PROJECT 9/19/11 TWF
3	ASBUILTS FOR SECTION 4A STORM ONLY-COVER, 600 & 601 11/3/11 RUS
ALL	ASBUILTS FOR SECTION 4B 10-11-12 KRG

MAPLE VILLAGE SECTION 4A

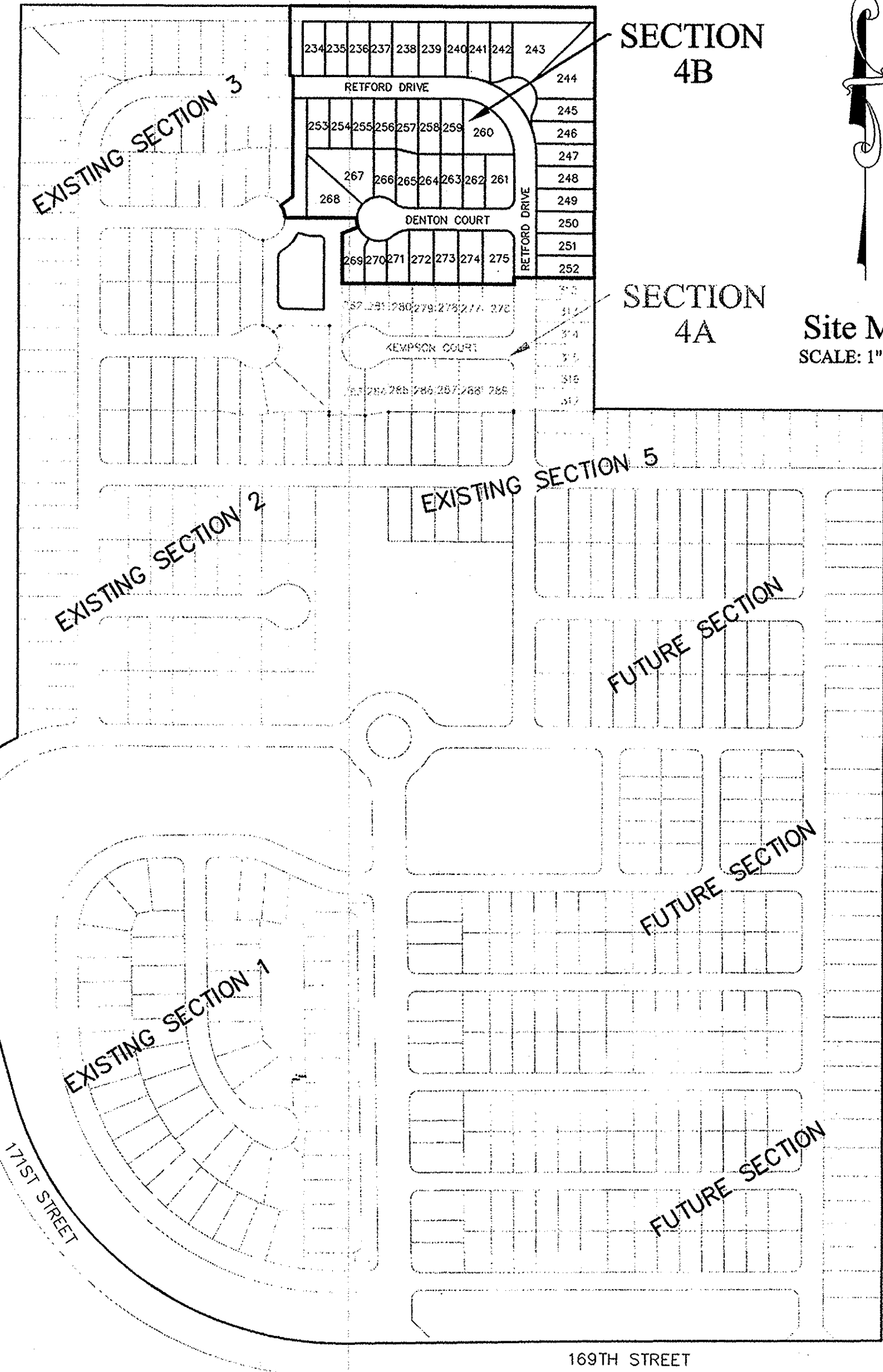
I, the undersigned Registered Land Surveyor hereby certify that the included plat correctly represents a subdivision of part of the Northwest Quarter of Section 3, Township 18 North, Range 3 East, Hamilton County, Indiana, more particularly described as follows:

Commencing at the Northeast corner of said Quarter Section being marked by a Harrison Monument; thence South 00 degrees 08 minutes 11 seconds West along the East line of said Quarter Section, 1,398.76 feet to the POINT OF BEGINNING of this description; thence continuing South 09 degrees 08 minutes 11 seconds West along said East line 300.00 feet to the North line of Maple Village, Section 5 Recorded as Instrument No. 201003341 in the Office of the Recorder of Hamilton County, Indiana; the next five (5) calls being on and along said North line: 1.) North 89 degrees 52 minutes 08 seconds West 100.01 feet; 2.) South 00 degrees 07 minutes 52 seconds West 4.61 feet; 3.) North 89 degrees 52 minutes 08 seconds West 280.00 feet; 4.) South 81 degrees 32 minutes 51 seconds West 33.60 feet; 5.) North 89 degrees 52 minutes 08 seconds West 80.50 feet to the East line of Maple Village, Section 2, Recorded as Instrument No. 200704695 in said Recorder's Office; thence North 00 degrees 07 minutes 52 seconds East along said East line a distance of 8.00 feet to the Southeast corner of Maple Village, Section 3, Recorded as Instrument No. 200803263 in said Recorder's Office; the next five (5) calls being on and along the East line of said Maple Village, Section 3: 1.) North 00 degrees 07 minutes 52 seconds East 192.55 feet; 2.) North 89 degrees 52 minutes 08 seconds West 110.91 feet; 3.) South 47 degrees 00 minutes 26 seconds West 20.00 feet to a point on a curve concave southerly, the radius point of said curve being South 47 degrees 00 minutes 26 seconds West 50.00 feet from said point; 4.) northwesterly along said curve 28.79 feet to the point of tangency of said curve, said point being North 14 degrees 01 minutes 04 seconds East 50.00 feet from the radius point of said curve; 5.) North 00 degrees 07 minutes 52 seconds East 191.46 feet to a point on a curve concave northwesterly, the radius point of said curve being North 00 degrees 07 minutes 52 seconds East 50.00 feet from said point; 6.) northeasterly along said curve 81.14 feet to the point of tangency of said curve, said point being North 87 degrees 09 minutes 16 seconds East 50.00 feet from the radius point of said curve; thence South 89 degrees 52 minutes 08 seconds East 160.63 feet to a point on a curve concave easterly, the radius point of said curve being South 86 degrees 53 minutes 32 seconds East 50.00 feet from said point; thence southerly along said curve 21.65 feet to the point of tangency of said curve, said point being South 68 degrees 17 minutes 35 seconds West 50.00 feet from the radius point of said curve; thence South 08 degrees 17 minutes 36 seconds West 38.34 feet; thence South 00 degrees 07 minutes 52 seconds West 112.14 feet; thence South 89 degrees 52 minutes 08 seconds East 385.00 feet; thence North 00 degrees 07 minutes 52 seconds East 14.61 feet; thence South 89 degrees 52 minutes 08 seconds East 50.00 feet; thence continuing South 89 degrees 52 minutes 08 seconds East along said line, a distance of 130.04 feet to the place of beginning, containing 4.931 acres, more or less, subject to all legal highways, rights-of-way, easements, and restrictions of record.

MAPLE VILLAGE SECTION 4B

I, the undersigned Registered Land Surveyor hereby certify that the included plat correctly represents a subdivision of part of the Northwest Quarter of Section 3, Township 18 North, Range 3 East, Hamilton County, Indiana, more particularly described as follows:

Commencing at the Northeast corner of said Quarter Section being marked by a Harrison Monument; thence South 00 degrees 08 minutes 11 seconds West along the East line of said Quarter Section, 795.84 feet to the POINT OF BEGINNING of this description; thence continuing South 09 degrees 08 minutes 11 seconds West 604.92 feet; thence North 89 degrees 52 minutes 08 seconds West 180.04 feet; thence South 00 degrees 07 minutes 52 seconds West 14.61 feet; thence North 89 degrees 52 minutes 08 seconds West 385.00 feet; thence North 00 degrees 07 minutes 52 seconds East 112.14 feet; thence North 89 degrees 52 minutes 08 seconds West 112.14 feet; thence North 89 degrees 52 minutes 08 seconds East 385.00 feet; thence North 00 degrees 07 minutes 52 seconds East 14.61 feet; thence South 89 degrees 52 minutes 08 seconds East 50.00 feet; thence continuing South 89 degrees 52 minutes 08 seconds East along said line, a distance of 130.04 feet to the place of beginning, containing 4.931 acres, more or less, subject to all legal highways, rights-of-way, easements, and restrictions of record.



Site Map
SCALE: 1" = 250'

Br: Brookston silty clay loam- this soil is dark colored, silty in texture and on depressional uplands. It is deep and very poorly drained with moderate permeability. It has high available water for plant growth and high organic matter content. It has compact till starting at a depth of 40 to 60 inches. The main soil features that affect the urban development uses are seasonal high water table, high potential frost action, moderate shrink-swell potential, moderate permeability and ponded surface water. Because of these engineering limitations this site will be constructed as follows. Maple Village, Section Three, being a singlefamily development within the jurisdiction of The City of Westfield and Hamilton County will have to abide by the current Subdivision Control Ordinance. This ordinance requires that we have an artificially drained site and that the buildings within this development be well above the 100yr elevation of the proposed detention basins and therefore be protected from flooding. All buildings will be of large slab type construction. In cases where a high water table is present special footings shall be constructed. All roads will have adequate sub-base. All sanitary sewers shall be public and therefore no septic systems shall be allowed Crosby silt loam, 0-3 percent slopes- this soil is light colored, silty in texture and on sloping uplands. It is deep and somewhat

CrA: poorly drained with slow permeability. It has high available water for plant growth and medium organic matter content. The soil has compact till starting at a depth between 20-40 inches. The main soil features that affect urban development uses are seasonal high water table, moderate shrink-swell potential, high potential frost action and slow permeability. Because of these engineering limitations this site will be constructed as follows. Maple Village, Section Three, being a singlefamily development within the jurisdiction of The City of Westfield and Hamilton County will have to abide by the current Subdivision Control Ordinance. This ordinance requires that we have an artificially drained site and that the buildings within this development be well above the 100yr elevation of the proposed detention basins and therefore be protected from flooding. All buildings will be of large slab type construction. In cases where a high water table is present special footings shall be constructed. All roads will have adequate sub-base. All sanitary sewers shall be public and therefore no septic systems shall be allowed

MmB2: Miami silt loam, 2 to 6 percent slopes, eroded
This moderately well drained soil has a seasonal high water table at 2.0 to 3.5 ft. and is on sideslopes and rises on uplands. Slopes are 2 to 6 percent. The native vegetation is hardwoods. The surface layer is silt loam and has moderately low organic matter content (1.0 to 2.0 percent). Permeability is very slow (< 0.06 in/hr) in the most restrictive layer above 60 inches. Available water capacity is low (5.9 inches in the upper 60 inches). The pH of the surface layer in non-limed areas is 5.1 to 6.0. Droughtiness and water erosion are management concerns for crop production.

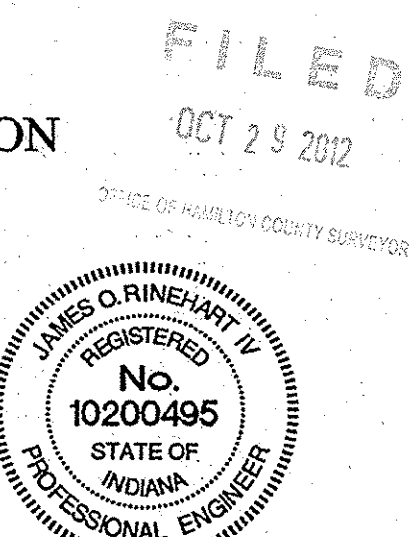
INDIANA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS LATEST EDITION TO BE USED WITH THESE PLANS UNLESS ALTERNATE SPECIFICATIONS ARE SHOWN WITHIN.

WESTFIELD CONSTRUCTION STANDARD DETAILS AND SPECIFICATIONS LATEST EDITIONS TO BE USED WITH THESE PLANS.

SPEED LIMIT = 25 M.P.H	SPEED LIMIT = 25 M.P.H
DESIGN DATA S4A	DESIGN DATA S4B
20 LOTS 4.93 AC. = 4.05 LOTS/ACRE	42 LOTS 9.20 AC. = 4.56 LOTS/ACRE
RET FORD DRIVE = 300.00 L.F. KEMPSON COURT = 360.00 L.F. TOTAL = 660.00 L.F.	RET FORD DRIVE = 880.79 L.F. DENTON COURT = 328.00 L.F. TOTAL = 1,208.79 L.F.

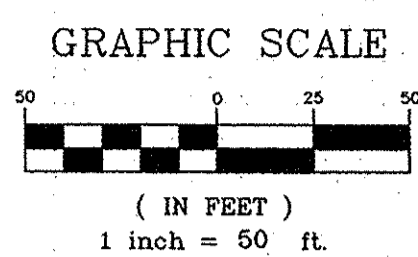
PLANS PREPARED BY:
STOEPPELWERTH & ASSOCIATES, INC.
CONSULTING ENGINEERS & LAND SURVEYORS
7965 E. 106TH STREET, FISHERS, INDIANA 46038 PHONE:
(317)-849-5935
FAX: (317)-849-5942
CONTACT PERSON: BRIAN K. ROBINSON

PLANS CERTIFIED BY:
James O. Rinehart, IV
JAMES O. RINEHART, IV
PROFESSIONAL ENGINEER
NO. 10200495
07/01/11
DATE



RECORD DRAWING

D.D. Q. 10/15/2012
 DENNIS D. OLMSTEAD
 Registered Land Surveyor
 No. 900012

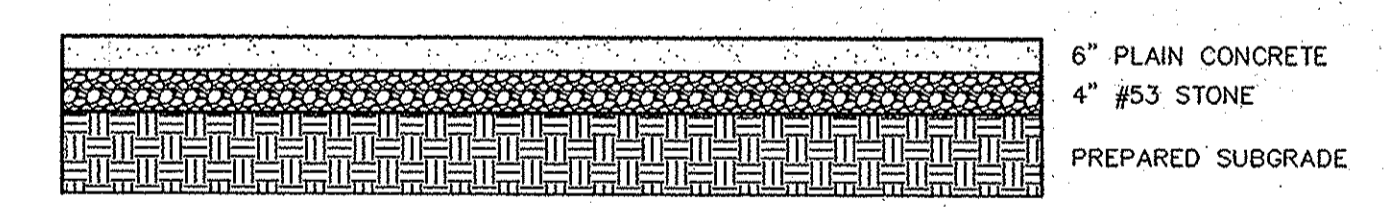
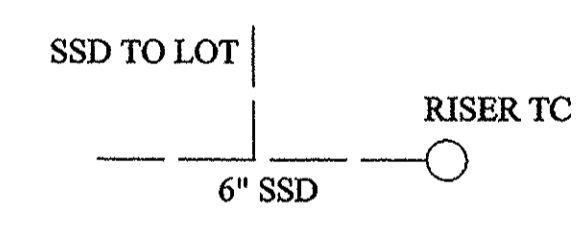


LEGEND

- B.S.L. Building Setback Line
- D&U.E. Drainage & Utility Easement
- D.U.&S.S.E. Drainage, Utility & Sanitary Sewer Easement
- H.P. High Point
- L.P. Low Point
- GRD.CHG. Grade Change
- M.E. Match Existing
- I.E.E. Ingress/Egress Easement

LEGEND

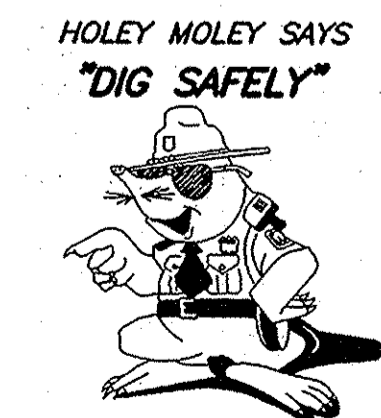
- EXISTING CONTOUR
- EXISTING SANITARY SEWER
- EXISTING STORM SEWER
- PROPOSED GRADE
- PROPOSED CONTOUR
- PROPOSED SANITARY SEWER
- PROPOSED STORM SEWER
- PROPOSED WATER LINE
- PROPOSED SIDEWALK
- PROPOSED 5' SIDEWALK (BY HOME BUILDER) (DEVELOPER SHALL INSTALL SIDEWALKS ALONG ALL COMMON AREAS)
- LOT NUMBER
PAD ELEVATION
- PROPOSED 6" UNDERDRAINS
- MIN. FINISH FLOOR ELEV. FLOOR MUST BE (1) FOOT ABOVE THE NEAREST UPSTREAM OR DOWNSTREAM SANITARY MANHOLE WHICH EVER IS LOWEST.



CONCRETE EYEBROW
X-SECTION

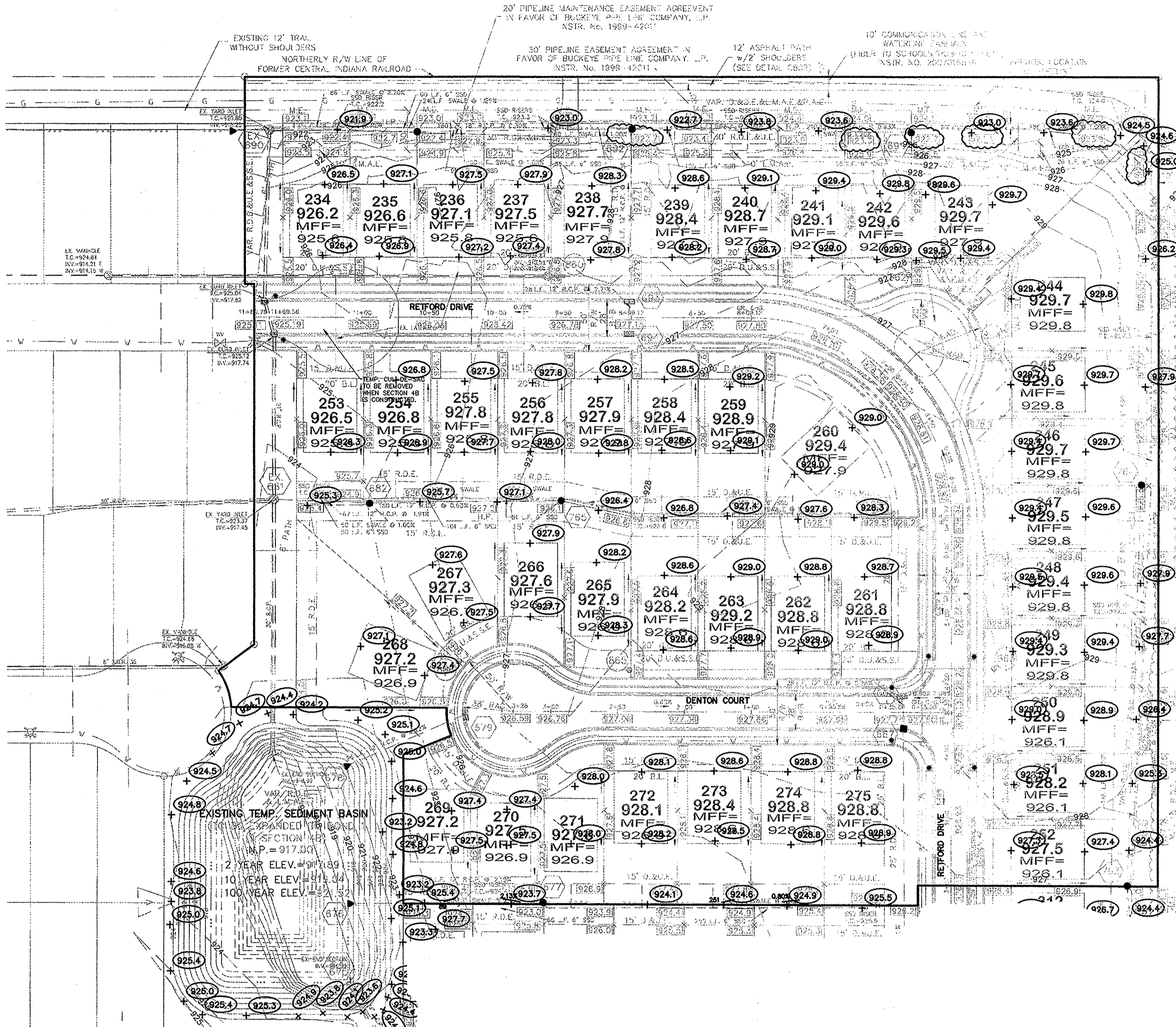
GENERAL NOTES:

- BLUE REFLECTORS SHALL BE INSTALLED IN THE CENTER LINE OF THE PAVEMENT TO MARK FIRE HYDRANTS PER THE TOWN OF WESTFIELD'S UTILITY AND INFRASTRUCTURE CONSTRUCTION STANDARDS.
- ALL SSD'S (SUBSURFACE DRAINS) WILL NEED TO BE DOUBLE WALL SMOOTH BORE PERFORATED (HIDE) PIPE.
- ALL EXISTING OFF-SITE DRAIN TILES THAT ARE ENCOUNTERED SHALL BE TIED INTO THE PROPOSED STORM SEWER SYSTEM WITH A POSITIVE OUTFLOW. ANY TILE THAT IS ENCOUNTERED THAT IS COMPLETELY ON-SITE MUST BE CRUSHED AND ABANDONED.
- ALL PADS SHALL BE TESTED TO ASSURE A COMPACTION OF AT LEAST 95 PERCENT OF THE MAXIMUM DRY DENSITY USING THE STANDARD PROCTOR TEST METHOD.
- CONTRACTOR SHALL VERIFY LOCATION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION TO CONFIRM THERE ARE NO CROSSING CONFLICTS. CONFLICTS THAT ARE DISCOVERED AFTER CONSTRUCTION BEGINS ARE SOLELY THE CONTRACTOR'S RESPONSIBILITY.
- ALL HOMES IN THIS SECTION TO BE SLAB CONSTRUCTION. NO SSD LATERALS WILL BE REQUIRED.



"IT'S THE LAW"
 CALL 2 WORKING DAYS BEFORE YOU DIG
 1-800-382-5544
 CALL TOLL FREE
 PER INDIANA STATE LAW 129-1-26
 IT IS AGAINST THE LAW TO EXCAVATE
 WITHOUT NOTIFYING THE UNDERGROUND
 LOCATION SERVICE TWO (2) WORKING
 DAYS BEFORE COMMENCING WORK.

CAUTION
 LOCATION OF ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED UPON ABOVE GROUND EVIDENCE (including, but not limited to, manholes, inlets, valves, & marks made upon the ground by others.) AND ARE SPECULATIVE IN NATURE. THERE MAY ALSO BE OTHER EXISTING UNDERGROUND UTILITIES FOR WHICH THERE IS NO ABOVE GROUND EVIDENCE OR FOR WHICH NO ABOVE GROUND EVIDENCE WAS OBSERVED. THE EXACT LOCATIONS OF SAID EXISTING UNDERGROUND UTILITIES SHOULD BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY AND ALL CONSTRUCTION.



STORM CHART

STR.#	STRUCTURE INFO			UPSTREAM PIPE INFO			DOWNSTREAM PIPE INFO				
	TYPE	T.C.	CASTING TYPE	DIAMETER	DIRECTION	INV. IN	DIAMETER	DIRECTION	INV. OUT	LENGTH	SLOPE
668	DOUBLE CURB INLET	927.64	R-3501-TR-TL	12	N	924.00	12	S	924.08	28	0.28%
667	CURB INLET	927.64	R-3501	12	N	924.00	12	S	923.90	262	1.42%
666	DOUBLE CURB INLET	924.04	R-3501-TR-TL	12	N	920.19	15	S	920.09	28	0.42%
664	DOUBLE CURB INLET	924.04	R-3501-TR-TL	15	N	919.97	21	S	919.87	132	0.36%
662	EX. YARD INLET	924.20	R-4342	21	N	919.40	21	S	919.34	129	0.50%
665	CURB INLET	924.43	R-3501	12	SW	920.85	52	SW	920.85	52	1.70%
664	DOUBLE CURB INLET	924.04	R-3501-TR-TL	12	NE	919.87	21	S	919.87	132	0.36%
677	EX. YARD INLET	923.40	R-4342	12	W	920.20	146	W	920.20	146	2.19%
676	END SECTION			12	E	917.00					
679	DOUBLE CURB INLET	926.07	R-3501-TR-TL	12	SW	921.05	96	SW	921.05	96	4.22%
678	END SECTION			12	NE	917.00					
765	YARD INLET	924.16	R-4342	12	W	922.80	150	W	922.80	150	0.93%
682	YARD INLET	924.90	R-4342	12	E	921.40	12	Y	921.30	67	1.91%
681	EX. YARD INLET	923.57	R-4342	12	E	920.02	30	S	917.45	191	0.24%
695	YARD INLET	922.70	R-4342	12	W	919.19	210	W	919.19	210	0.30%
692	YARD INLET	922.70	R-4342	12	E	919.11	18	W	919.11	160	0.30%
691	YARD INLET	922.40	R-4342	18	E	918.63	18	W	918.63	110	0.35%
690	EX. YARD INLET	920.80	R-4342	18	E	918.25	21	S	918.25	110	0.35%
694	DOUBLE CURB INLET	927.05	R-3501-TR-TL	12	N	923.22	52	N	923.22	52	2.71%
693	DOUBLE CURB INLET	927.05	R-3501-TR-TL	12	S	922.46	12	N	922.46	126	2.49%
692	YARD INLET	922.90	R-4342	12	W	919.21	18	W	919.11	160	0.30%
764	YARD INLET	926.50	R-4342	12	S	923.00	300	S	923.00	300	0.83%
763	YARD INLET	924.00	R-4342	12	N	920.50	12	S	920.50	293	0.44%
762	YARD INLET	923.20	R-4342	12	N	919.20	12	SE	919.20	35	0.57%
656	EX. YARD INLET	923.03	R-4342	12	NW	919.00	15	S	918.95	99	0.32%

ASBESTOS
 10/12/12
 7/11/12
 9/22/11
 9/19/11
 9/23/11
 9/23/11
 9/7/11

ADD REAR YARD SSD AND RISER-BASEMENTS
 REVISE PATH LOCATION & NP & TOB
 REV PER STRIP SWALE, SSD CHG EAST SIDE
 REVISION 12' PATH ALONG NORTH BOUNDARY
 SHOW GAS LINE
 REV. SWALES MIN. 1.00% REAR LOTS 234-243
 REVISED PER IAC COMMENTS

REGISTERED
 No. 10200495
 STATE OF INDIANA
 PROFESSIONAL ENGINEER

THIS DRAWING IS NOT INTENDED TO BE REPRESENTED AS A RETRACTION OR ORIGINAL BOUNDARY SURVEY. A ROUTE REPORT IS REQUIRED.

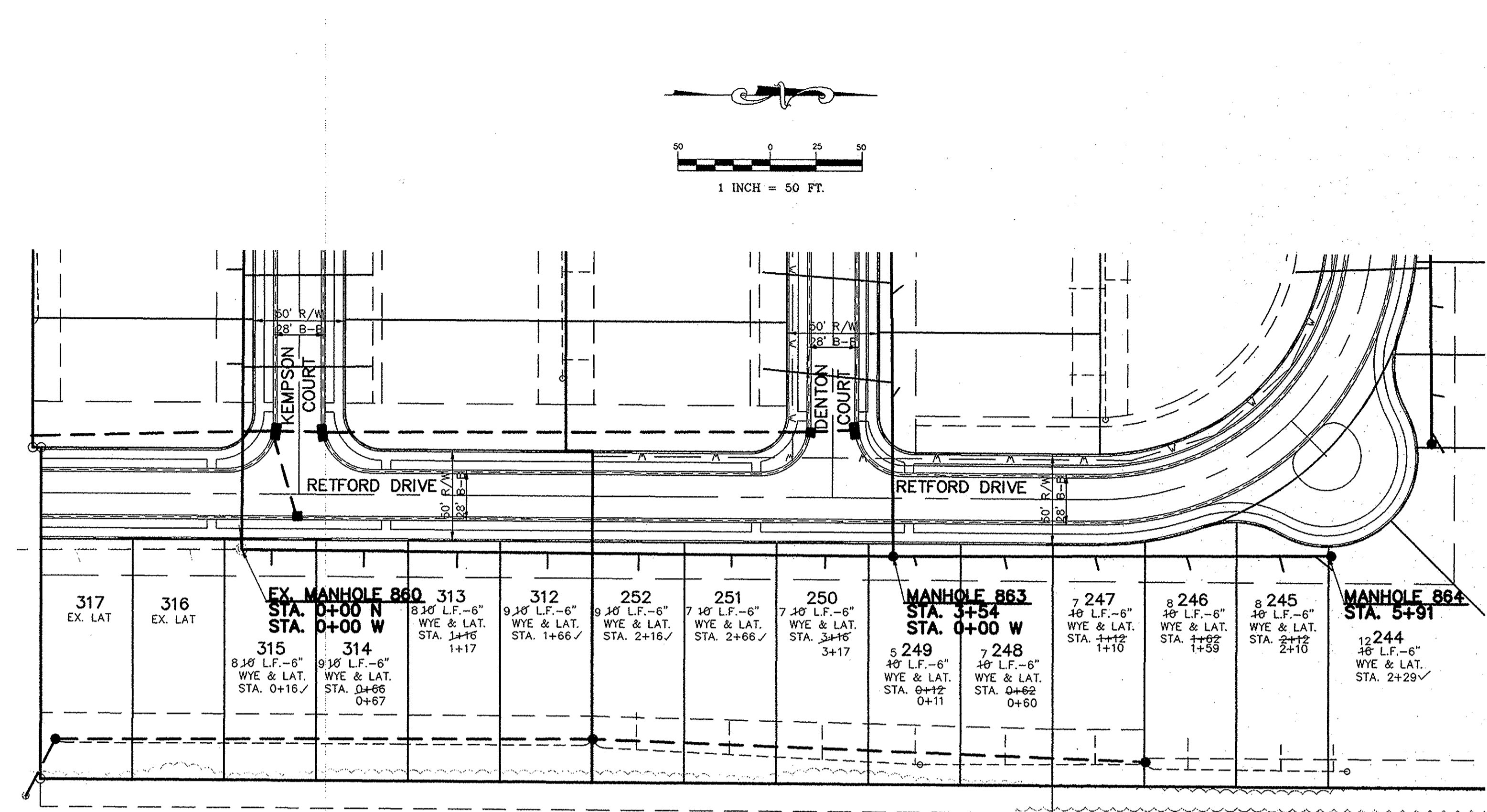
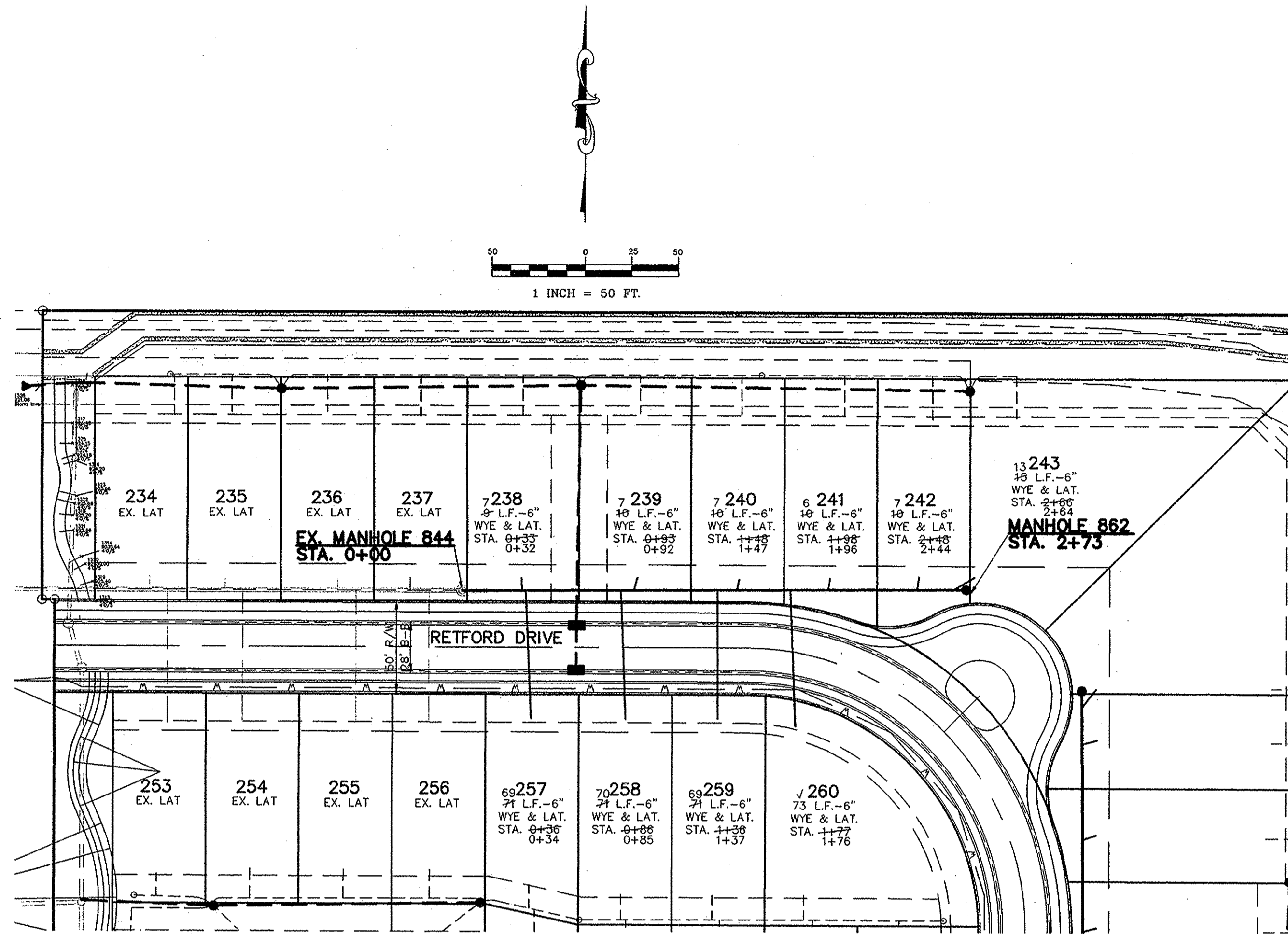
CERTIFIED: 7/1/11

STOEPPELWERTH & ASSOCIATES, INC.
 CONSULTING ENGINEERS & LAND SURVEYORS
 7965 East 106th Street, Fishers, IN 46038-2505
 Phone: (317) 849-5835 Fax: (317) 849-5942
 Toll Free: (800) 728-8917

SITE DEVELOPMENT PLAN
 MAPLE VILLAGE (SONOMA)
 SECTION 4B
 WESTFIELD, WASHINGTON TOWNSHIP, HAMILTON COUNTY, INDIANA

DRAWN BY: KRG
 CHECKED BY: BKR

SHEET NO.
C201
 5 & A JOB NO.
 50690PLA-S4



NOTES

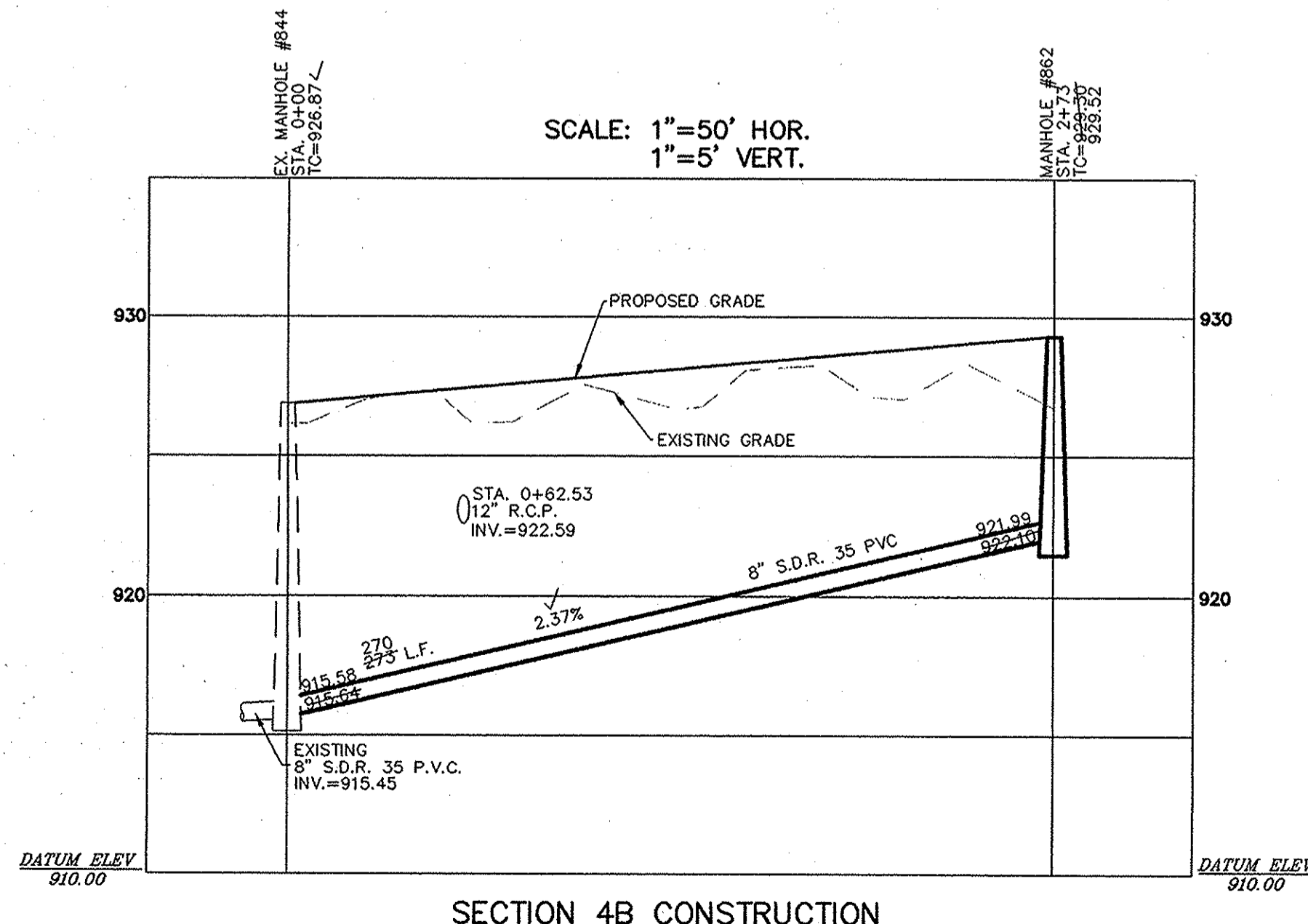
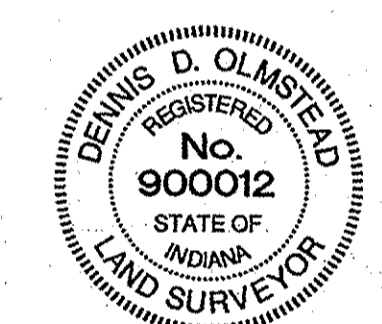
- 1.) FULL DEPTH GRANULAR BACKFILL SHALL BE INSTALLED ON ALL SEWER LATERAL STREET CROSSINGS & COMPACTED PER I.D.O.H. STANDARDS.
- 2.) MIN. SLOPES PER THE TEN STATE STANDARDS SHALL PREVAIL IN ALL CASES.
- 3.) CONTRACTOR SHALL EXTEND SEWER LATERALS TO A POINT NO LESS THAN 5' AND NO GREATER THAN 7' FROM BUILDING LINE AS SHOWN. A LOCATE WIRE TO BE RUN ALONG ENTIRE LENGTH OF ALL LATERALS.
- 4.) CONTRACTOR SHALL INSTALL LATERAL NO GREATER THAN 7' BELOW PAD GRADE AT LATERAL END.
- 5.) MANHOLE STRUCTURES TO BE CONSTRUCTED TO REQUIRE ONE-4" RISER RING NO MORE, NO LESS TO MEET PLAN T.C. GRADE.
- 6.) ALL SANITARY SEWER LATERALS MUST HAVE LOCATE WIRE RUN WHEN INSTALLING.

DENOTES FULL DEPTH GRANULAR BACKFILL

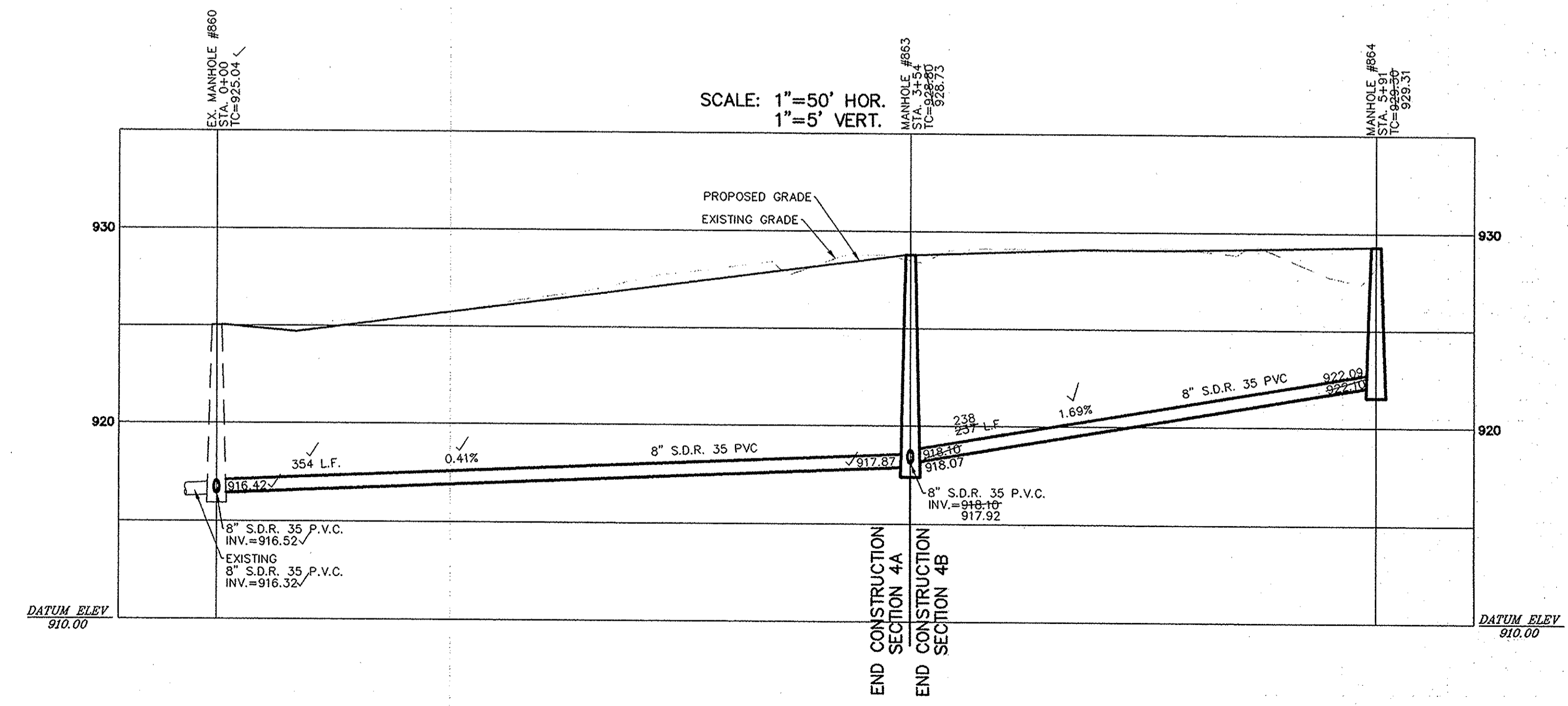
STATIONS ON CROSSINGS ARE FROM THE DOWN STREAM MANHOLE.

RECORD DRAWING SECTION 4B ONLY

DATE 10/18/2012
DENNIS D. OLMSTEAD
Registered Land Surveyor
No. 900012



SECTION 4B CONSTRUCTION



REVISIONS

NO.	DATE	BY

DATE 1 MARK BY

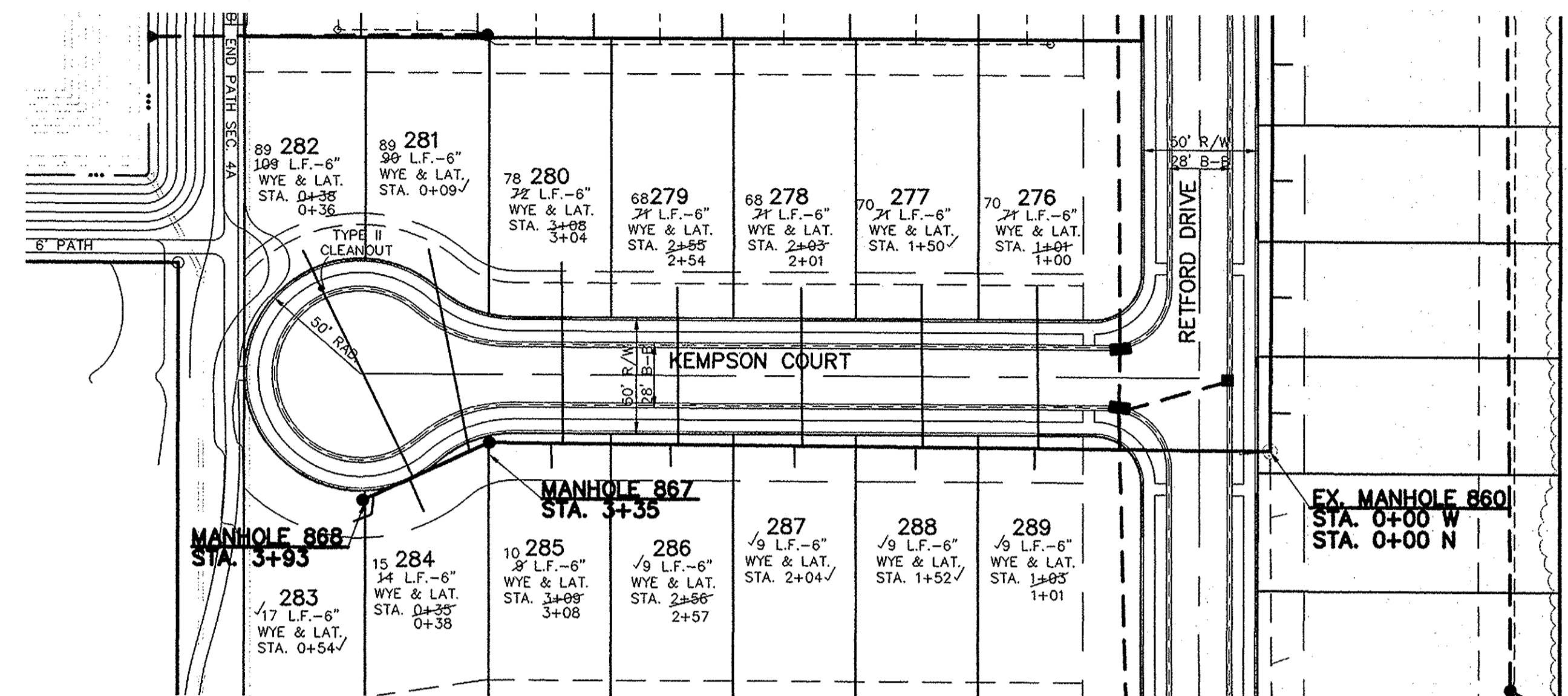
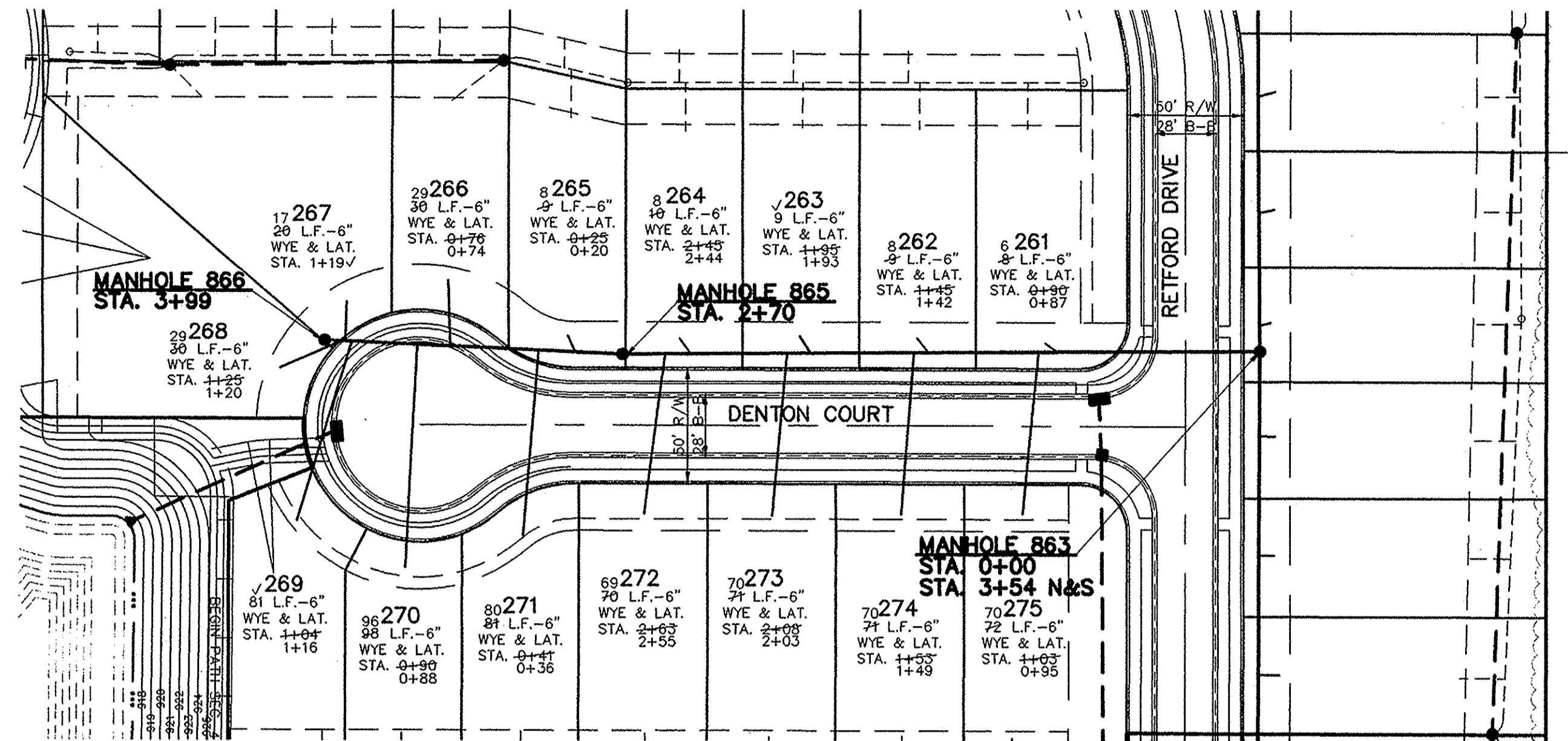
7/1/11

CERTIFIED:

STOEPPELWERTH & ASSOCIATES, INC.
CONSULTING ENGINEERS & LAND SURVEYORS
7985 East 108th Street, Fishers, IN 46038-2005
Phone: (317) 849-5935 Fax: (317) 849-5942
Toll Free: (800) 728-8917

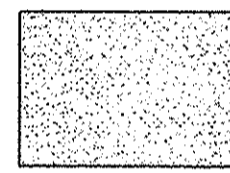
SANITARY PLAN & PROFILE
MAPLE VILLAGE (SONOMA)
SECTION 4B
WESTFIELD, WASHINGTON TOWNSHIP, HAMILTON COUNTY, INDIANA

DRAWN BY: KRG CHECKED BY: BKR
SHEET NO. **C500**
S & A JOB NO. 50690PLA-S4



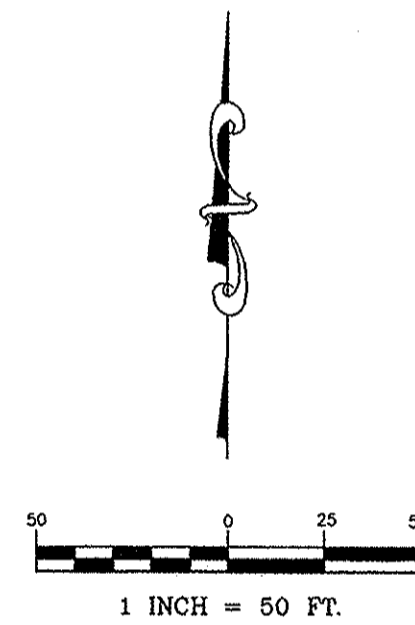
NOTES

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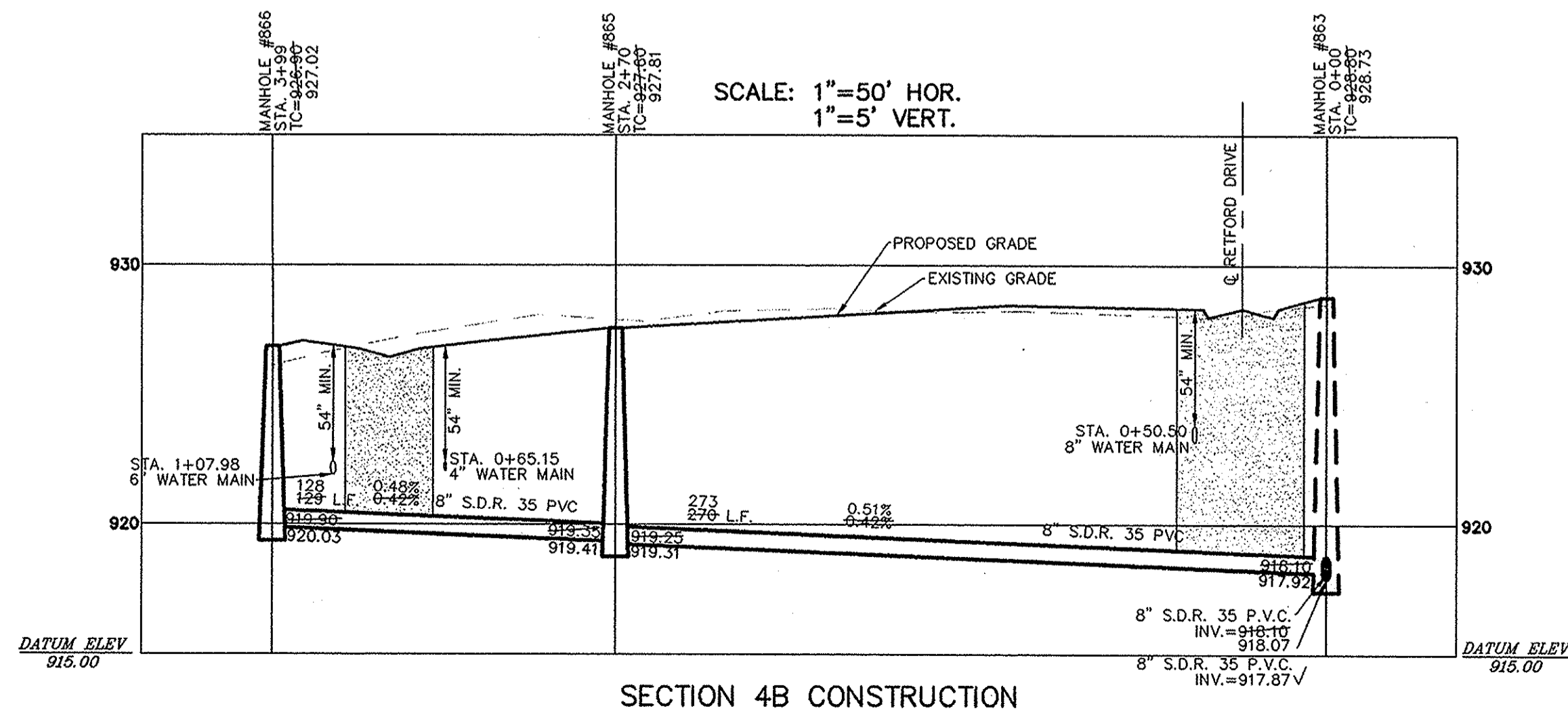
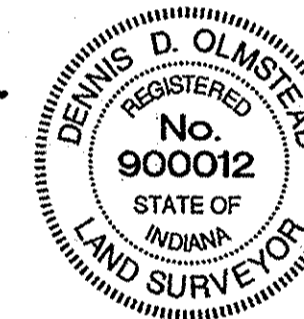
DENOTES FULL DEPTH GRANULAR BACKFILL

STATIONS ON CROSSINGS ARE FROM THE DOWN STREAM MANHOLE.

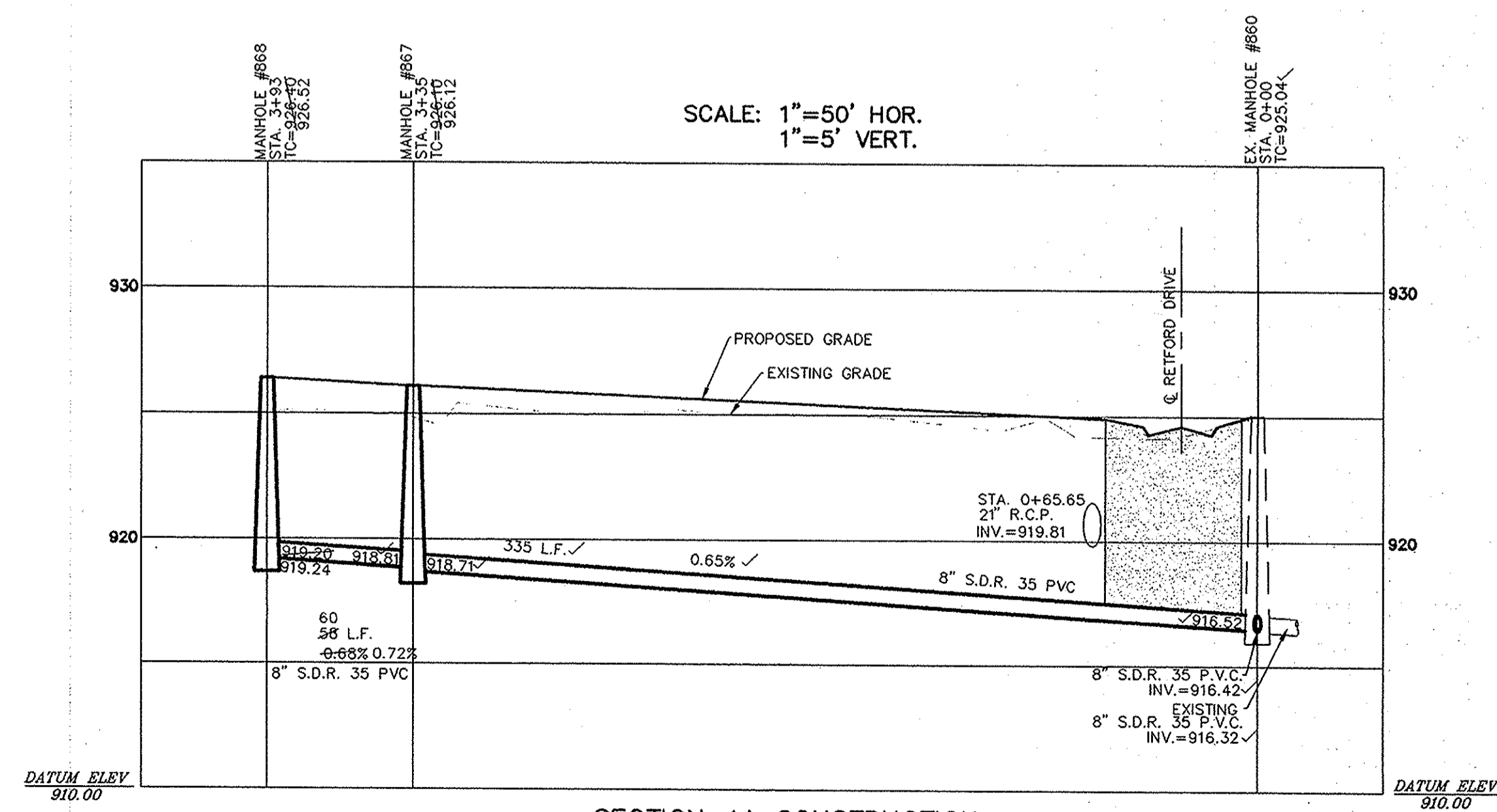


RECORD DRAWING SECTION 4B ONLY

Dennis D. Olmstead 10/15/2012
 DENNIS D. OLMSTEAD
 Registered Land Surveyor
 No. 900012

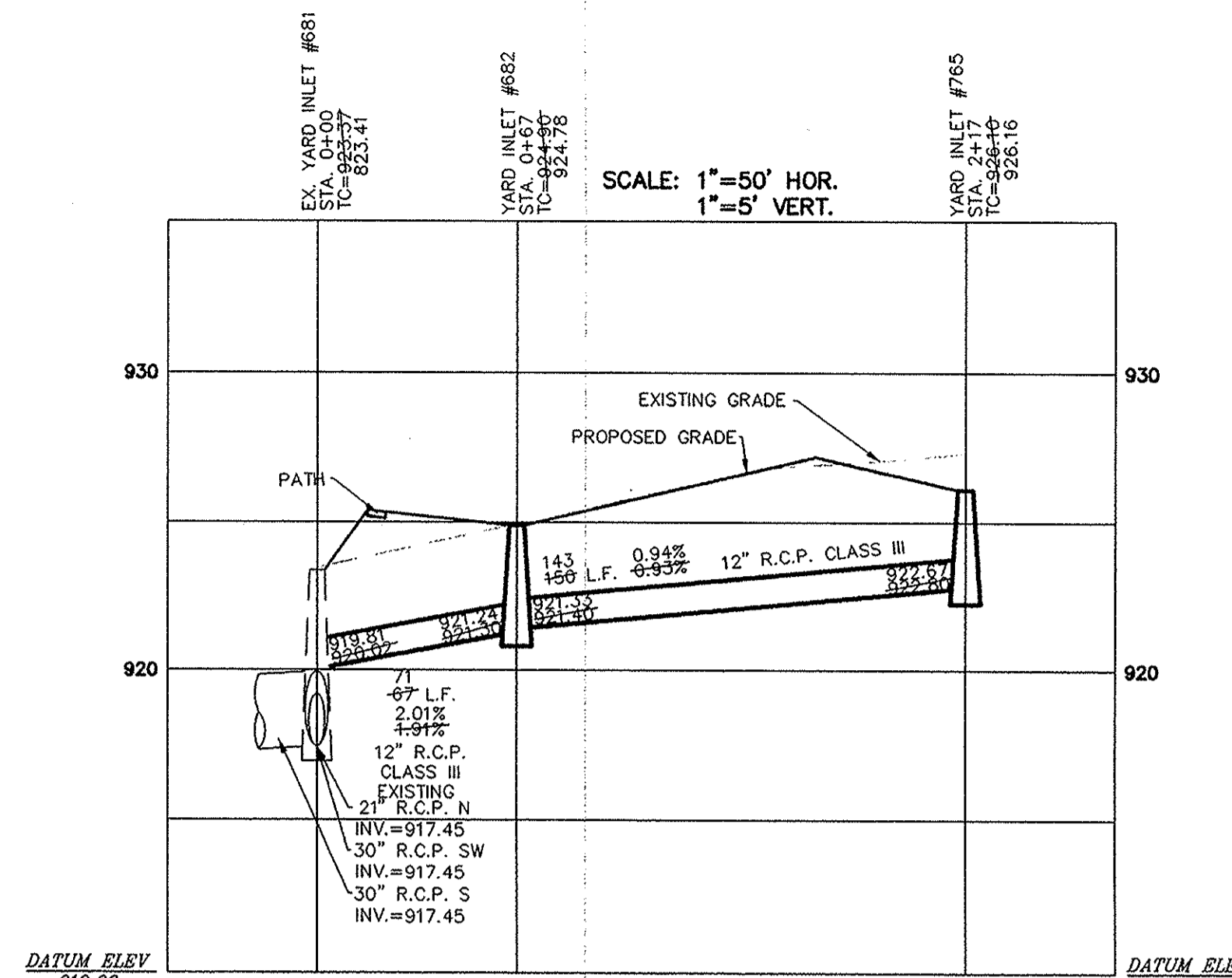
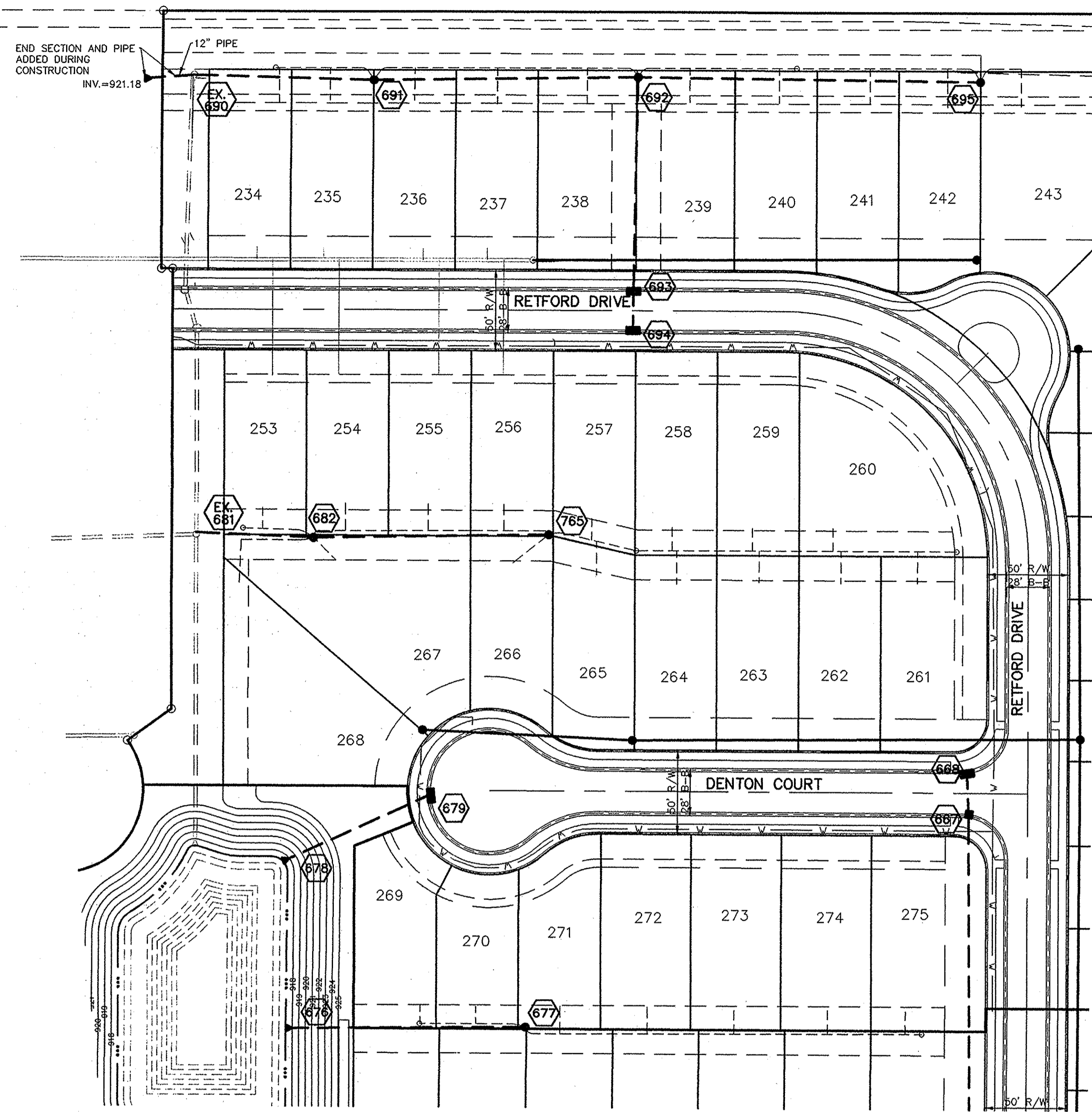


SECTION 4B CONSTRUCTION

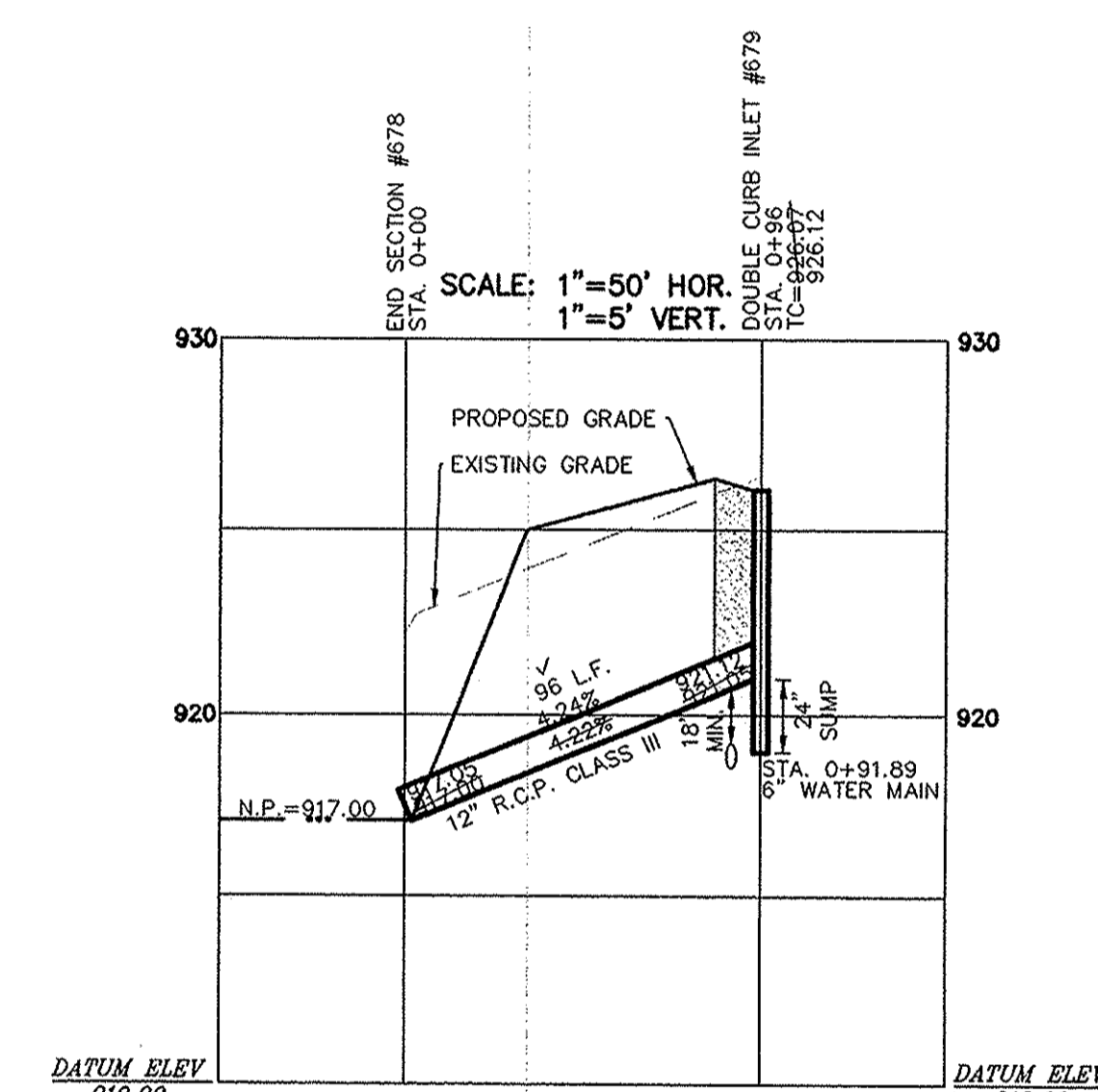


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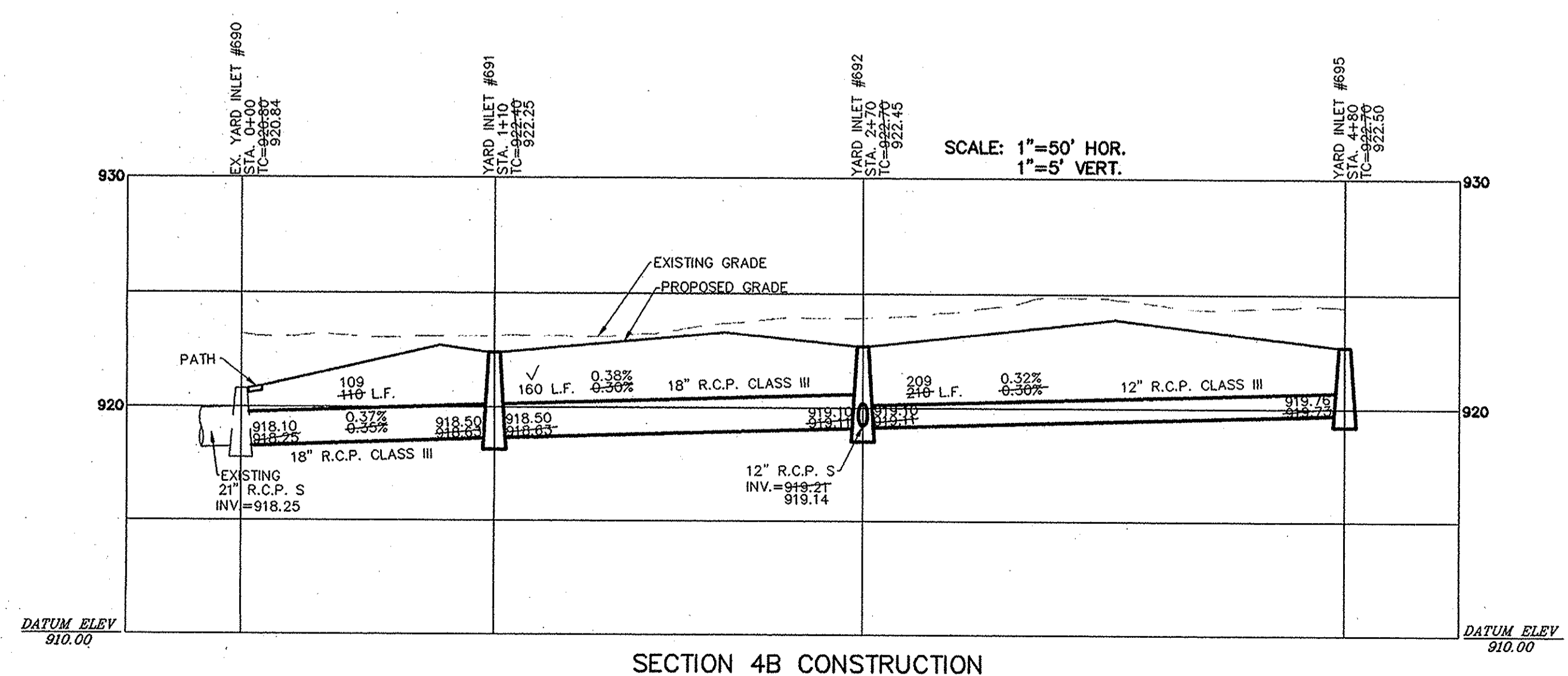
DATE	MARK	BY
7/1/11		
STOEPPELWERTH & ASSOCIATES, INC. CONSULTING ENGINEERS & LAND SURVEYORS 7965 East 106th Street, Fishers, IN 46038-2005 Phone: (317) 849-5935 Fax: (317) 849-5842 Toll Free: (800) 728-6917		
SANITARY PLAN & PROFILE MAPLE VILLAGE (SONOMA) SECTION 4B WESTFIELD, WASHINGTON TOWNSHIP HAMILTON COUNTY, INDIANA		
DRAWN BY	CHECKED BY	SHEET NO.
KRG	BKR	C501
5 & A JOB NO. 50690PLA-S4		



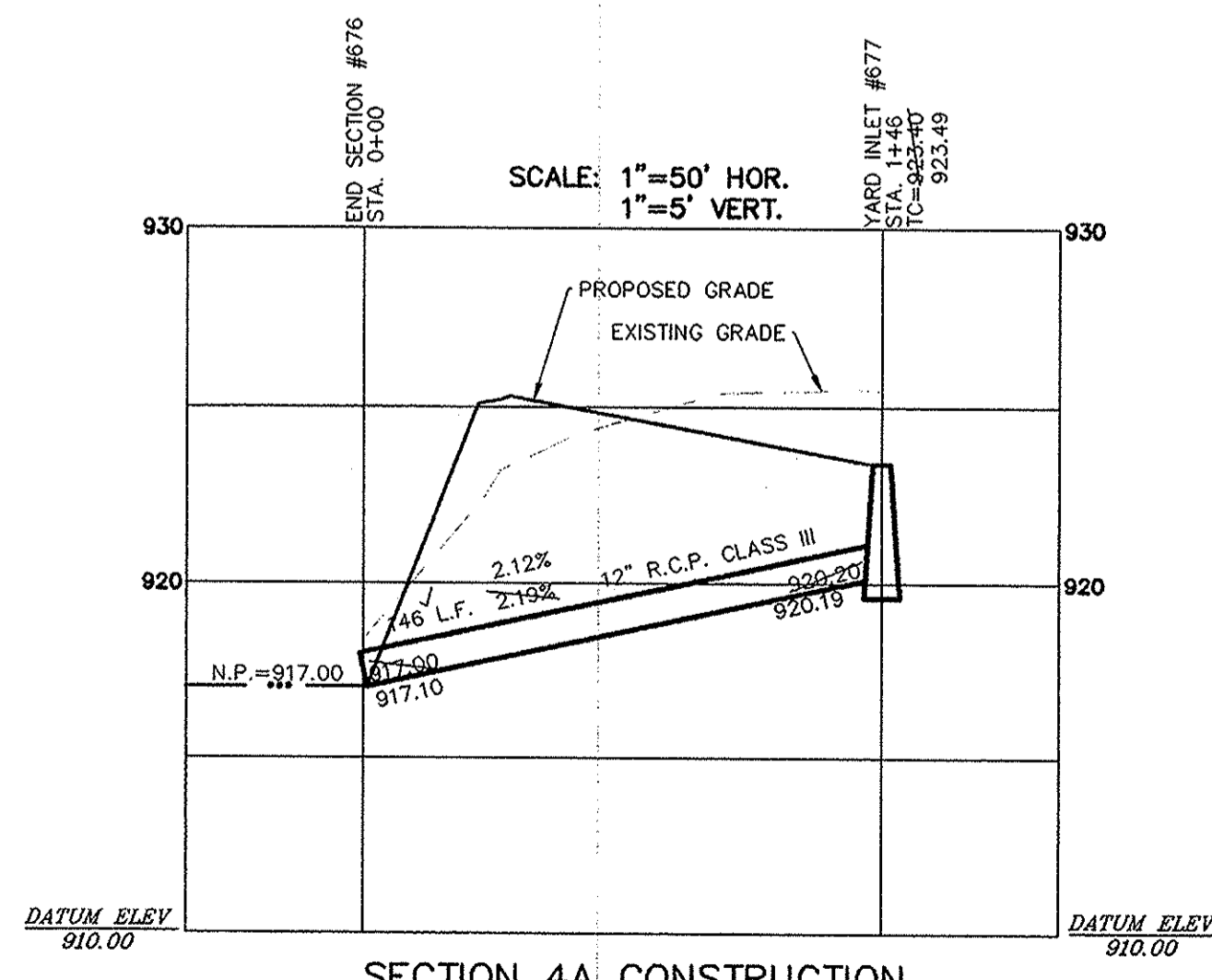
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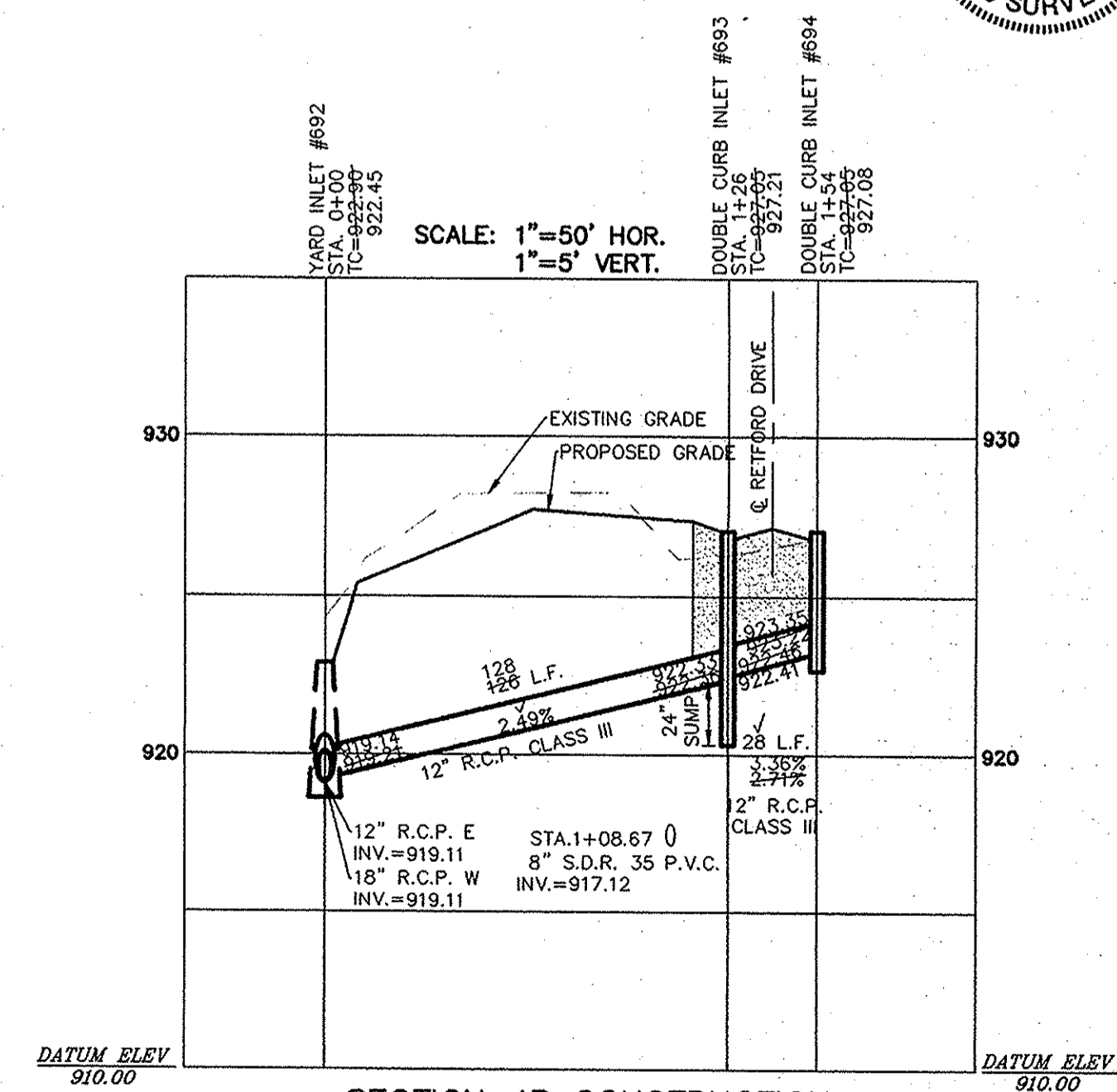
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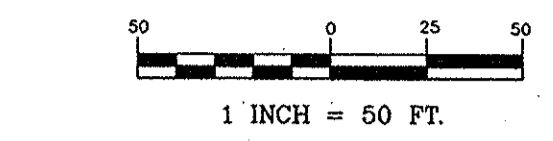
SECTION 4B CONSTRUCTION



SECTION 4A CONSTRUCTION



SECTION 4B CONSTRUCTION



NOTES:

ALL STORM STRUCTURES TO RECEIVE SOLID LID CASTINGS ARE TO BE CONSTRUCTED TO PROVIDE ONE 4" RISER RING NO MORE, NO LESS TO ACHIEVE PLAN RIM GRADE.

ALL YARD INLETS ARE TO BE CONSTRUCTED AT A TOLERANCE OF +0.00' TO -0.20' OF PLAN GRADE.

ALL STORM SEWER CASTINGS SHALL BE LABELED
"DUMP NO WASTE-DRAINS TO WATERWAY"

ALL STORM CROSSINGS IN RIGHT OF WAY WITH LESS THAN 30" COVER TO FINISH PAVEMENT GRADE WILL BE BACKFILLED WITH #8 STONE

ALL SSD'S (SUBSURFACE DRAINS) WILL NEED TO BE DOUBLE WALL SMOOTH BORE PERFORATED (HDPE) PIPE.

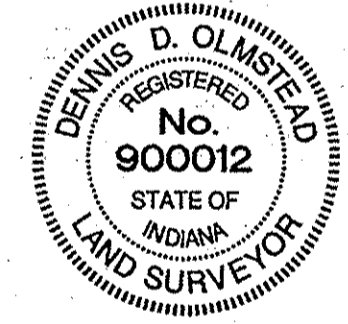
DEBRIS GUARDS ARE TO BE INSTALLED ON ALL OPEN ENDED INLETS.

■ DENOTES FULL DEPTH GRANULAR BACKFILL

STATIONS ON CROSSINGS ARE FROM THE DOWN STREAM MANHOLE.

RECORD DRAWING SECTION 4B ONLY

Dennis D. Olmstead 10/15/2012 DATE
DENNIS D. OLMSTEAD
Registered Land Surveyor
No. 900012



REVISED PER TAC COMMENTS	DATE	MARK	BY
7/17/11			
7/27/12			
ASBUILTS			
REVISED PER TAC COMMENTS			
7/17/11			
7/27/12			

CERTIFIED: 7/1/11

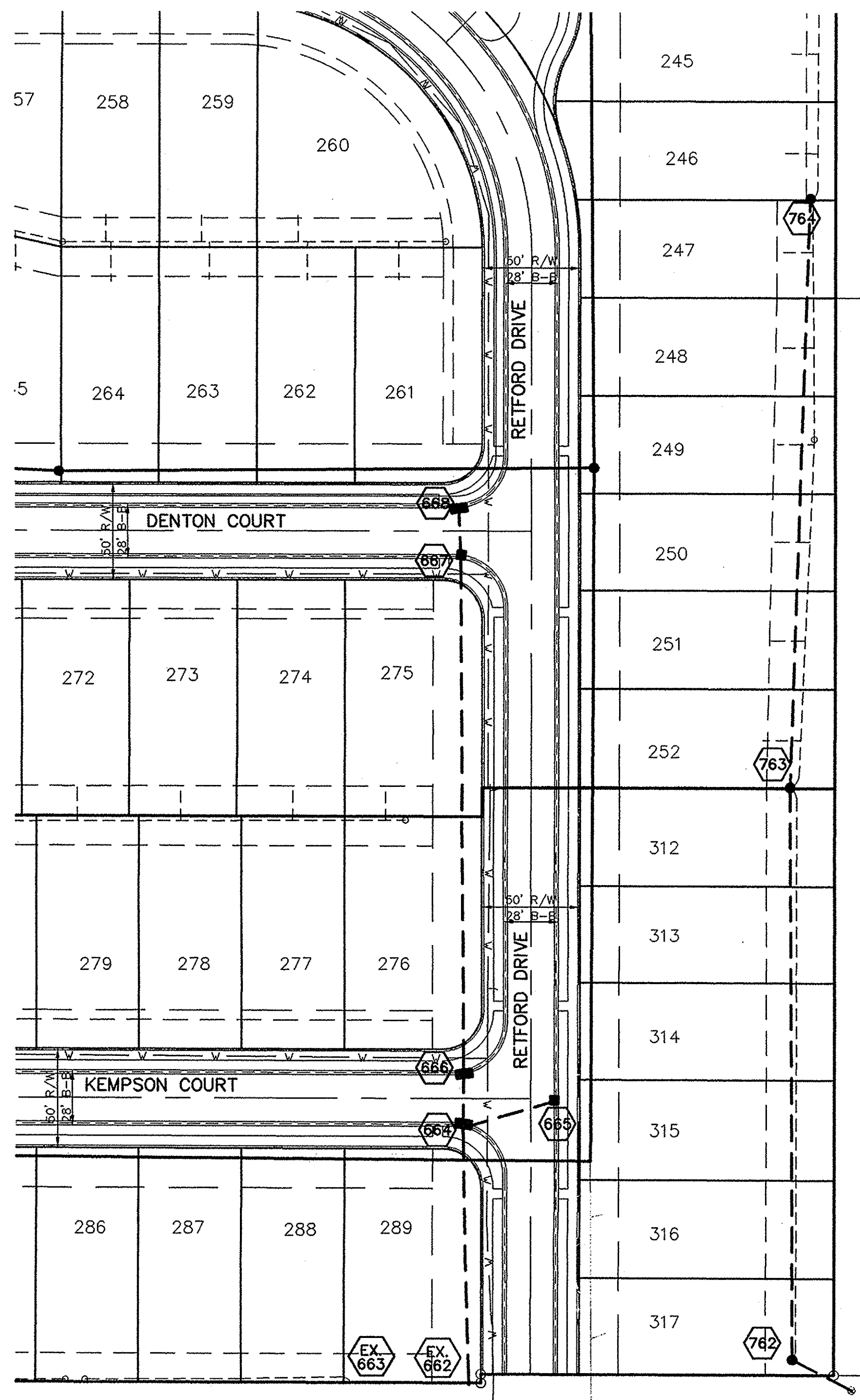
STOEPPELWERTH & ASSOCIATES, INC.
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Toll Free: (800) 728-6817

DENNIS D. OLMSTEAD
REGISTERED
No. 900012
STATE OF INDIANA
LAND SURVEYOR

**STORM PLAN & PROFILE
MAPLE VILLAGE (SONOMA)
SECTION 4B**
WESTFIELD, WASHINGTON TOWNSHIP
HAMILTON COUNTY, INDIANA

OCT 29 2012

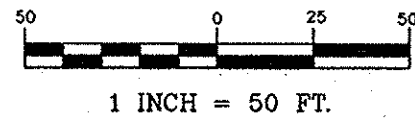
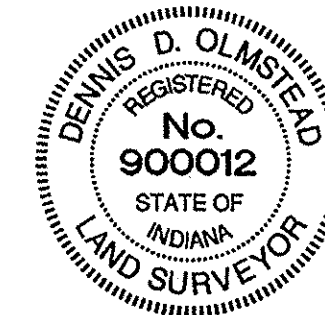
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CHECKED BY: BKR
SHEET NO. C600
S & A JOB NO. 50690PLA-54



RECORD DRAWING SECTION 4B ONLY

DENNIS D. OLNSTEAD
Registered Land Surveyor
No. 900012

DATE 6/15/2012



NOTES:

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ALL YARD INLETS ARE TO BE CONSTRUCTED AT A TOLERANCE OF +0.00' TO -0.20' OF PLAN GRADE.

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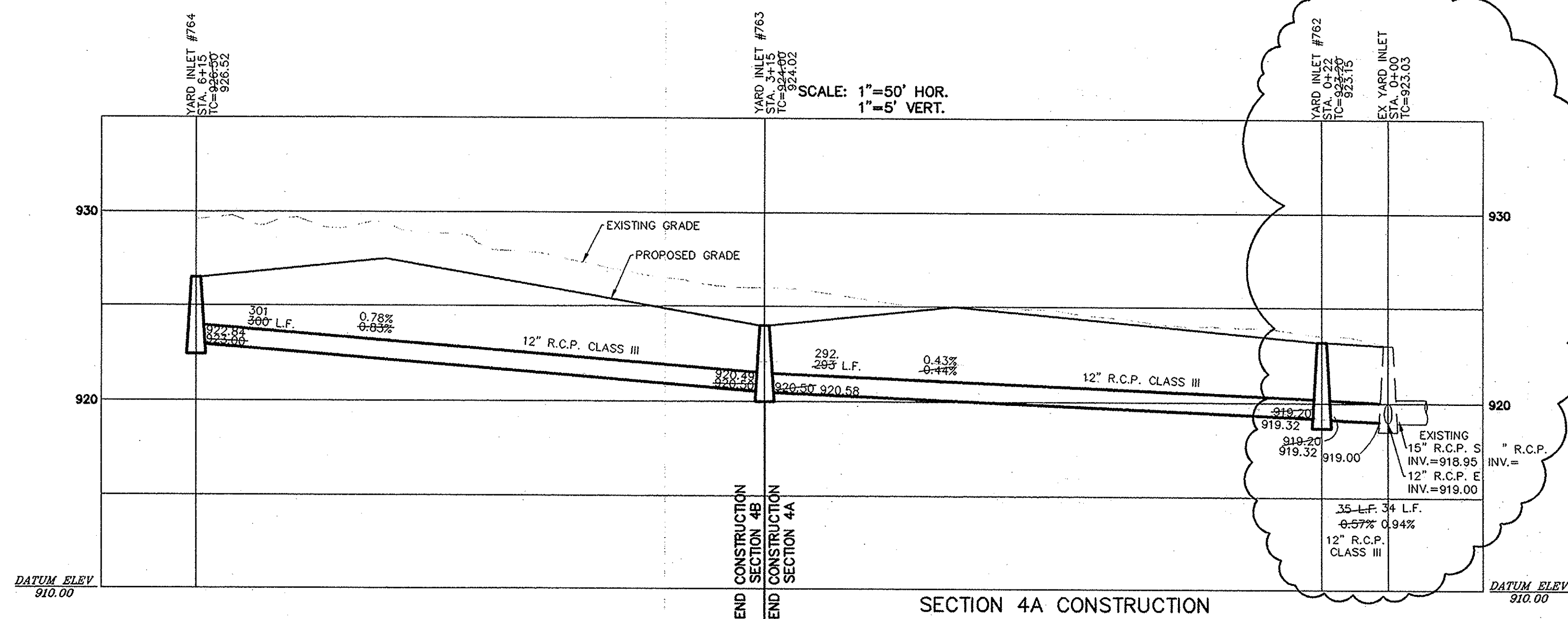
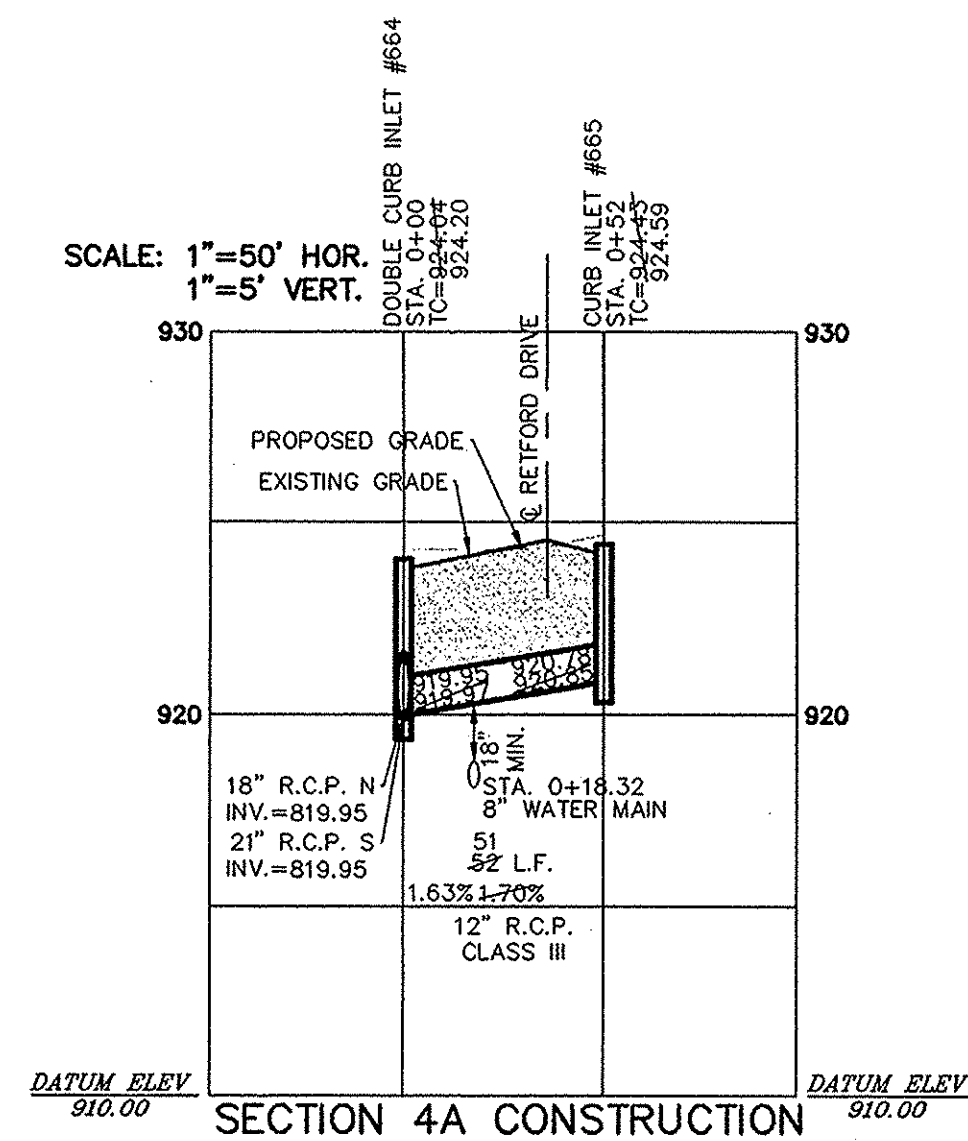
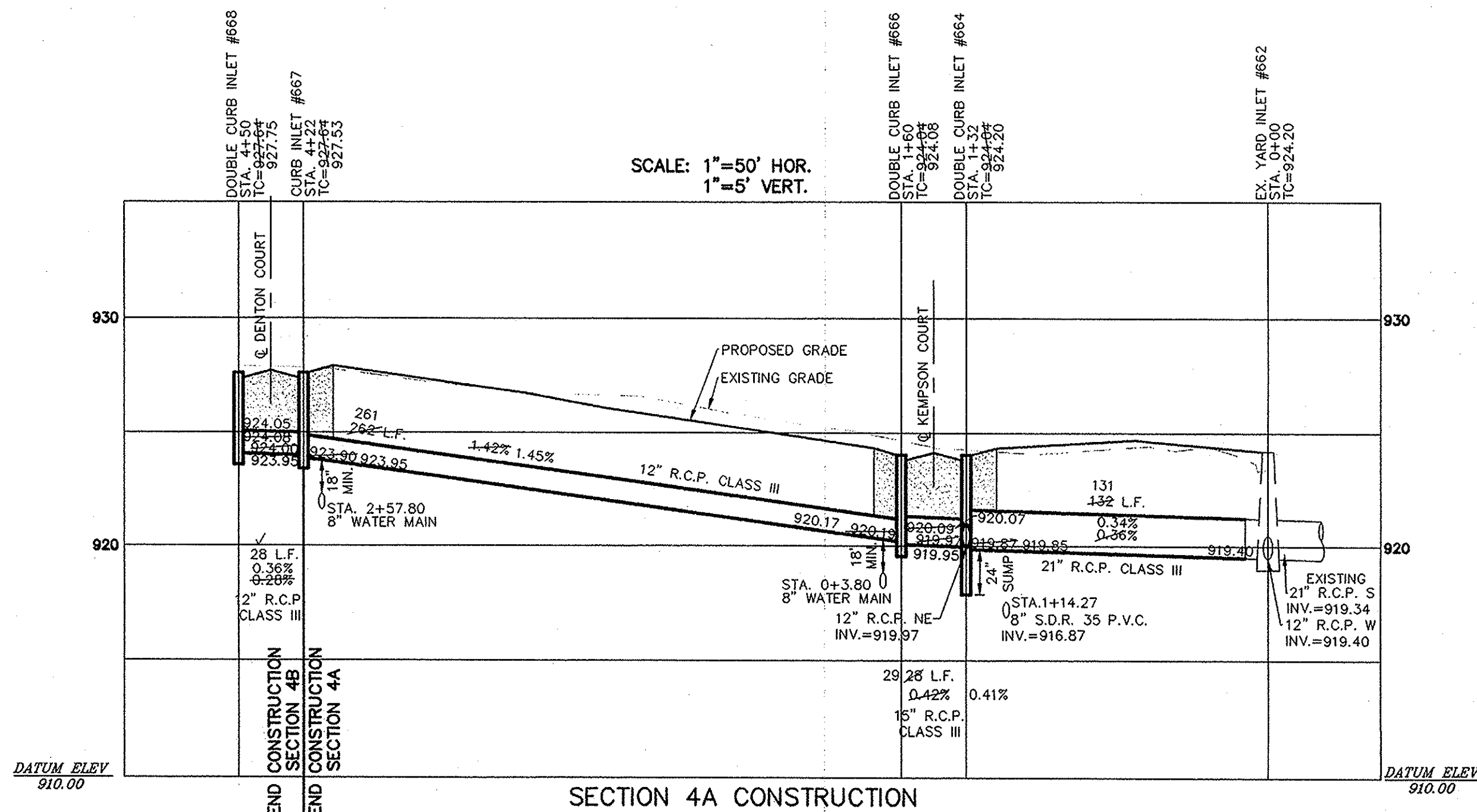
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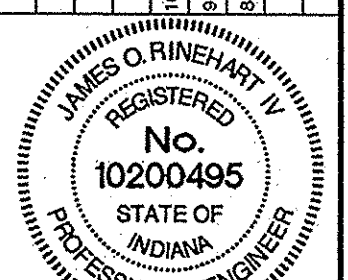
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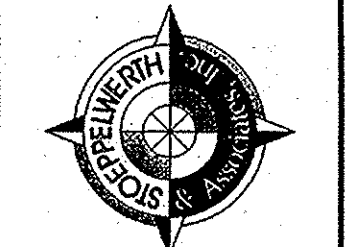


NO.	DATE	BY



CERTIFIED: 7/1/11

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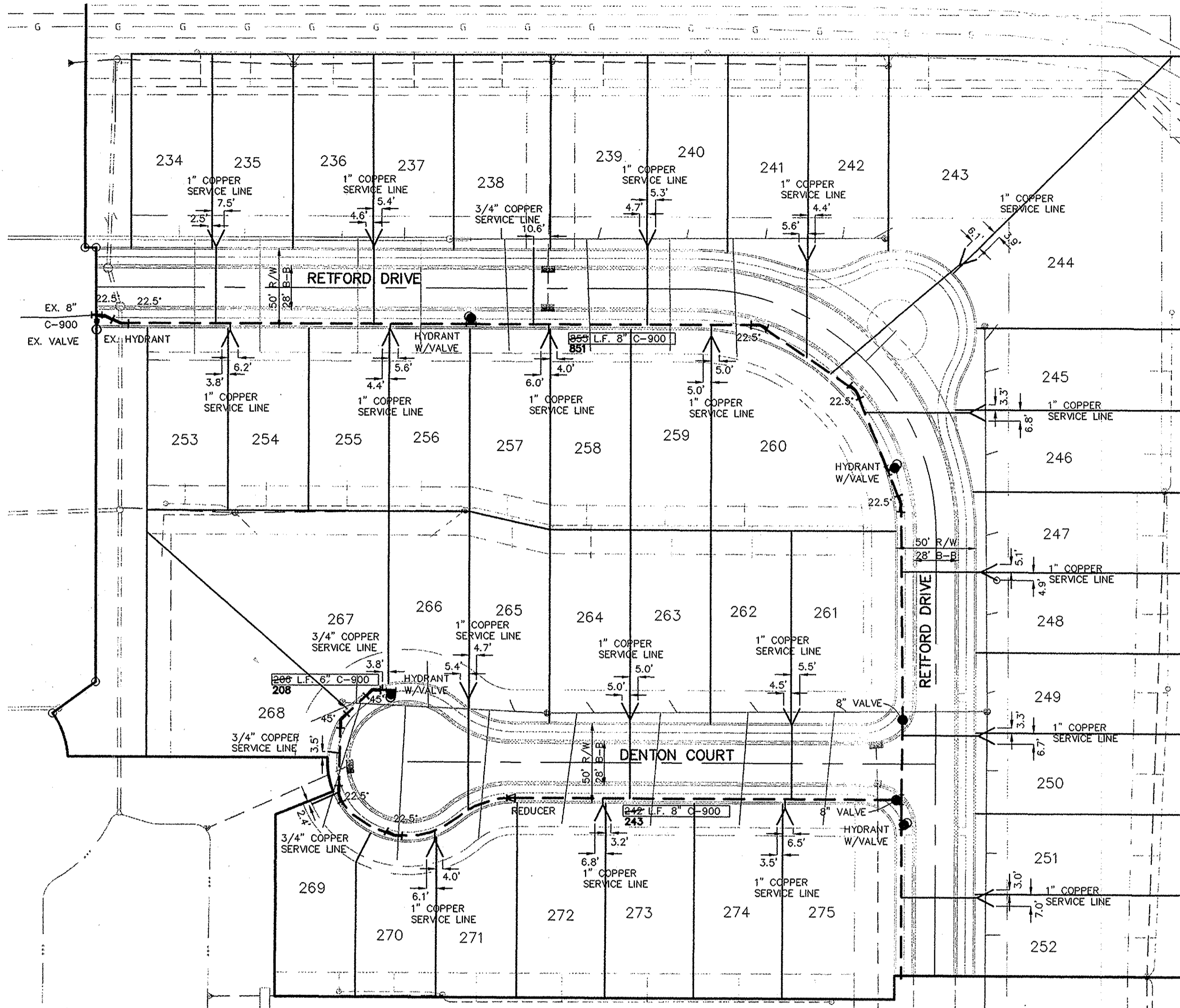
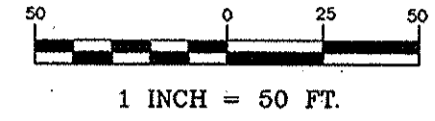
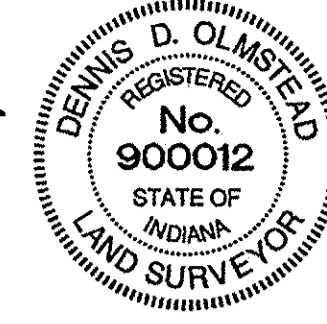


STORM PLAN & PROFILE
MAPLE VILLAGE (SONOMA)
SECTION 4B
WESTFIELD, WASHINGTON TOWNSHIP, HAMILTON COUNTY, INDIANA

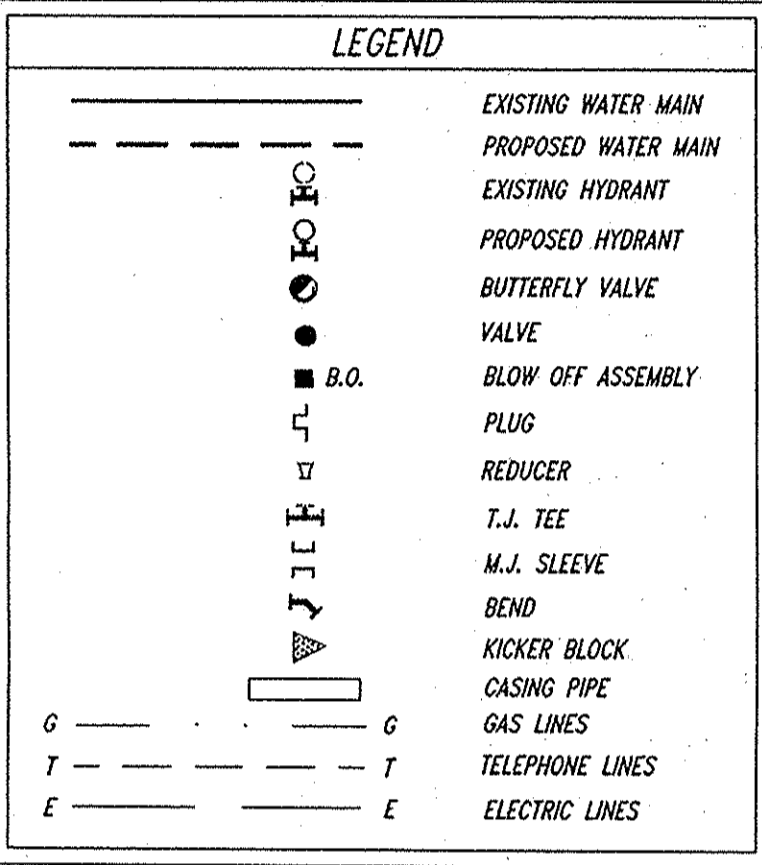
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CHECKED BY: BKR
SHEET NO. C601
2 of 4 JOB NO. 50690PLA-54

RECORD DRAWING

D.D. OLMSTEAD 6/15/2012 DATE
 DENNIS D. OLMSTEAD
 Registered Land Surveyor
 No. 900012



NOTE: ALL WATERMAIN SHALL BE INSTALLED WITH A MIN. OF 8'-0" OF SEPERATION BETWEEN THE MAIN AND SEWER STRUCTURES AND A MIN. OF 10'-0" OF SEPERATION BETWEEN WATER SANITARY AND STORM PIPE.



- NOTES:
- C900 TO BE USED FOR ALL WATER MAIN INSTALLATIONS. 8" OR LESS.
 - ALL FIRE HYDRANTS SHALL HAVE A FIVE (5) INCH STORZ'S CONNECTION (MUELLER MODEL 290220 FOR CASTING AND 290221 CAP OR COMPARABLE TOO AND APPROVED BY WPWD). FIRE HYDRANTS SHALL BE PLACED PER THE DIRECTION OF WESTFIELD FIRE DEPARTMENT. FIRE HYDRANTS SHALL BE PAINTED PRIOR TO DELIVERY AND AFTER INSTALLATION.
 - ALL VALVES TO BE POSI CAP INSTALLED.
 - C900 PIPE SHALL BE SADDLE TAPPED, AND BEDDED WITH SAND 6" UNDER PIPE AND 12" OVER THE PIPE.
 - ALL SERVICE LINES TO BE STUBBED 2 FT. BEHIND SIDEWALKS
 - BLUE REFLECTORS SHALL BE INSTALLED IN PAVEMENT TO MARK FIRE HYDRANTS (PRIVATE OR PUBLIC) PER THE CITY OF WESTFIELD'S UTILITY AND INFRASTRUCTURE CONSTRUCTION STANDARDS.
 - THERE IS TO BE NO WATER VALVES OR MANHOLES WITHIN THE PAVEMENT, CURBS OR SIDEWALKS.
 - FOR DUCTILE IRON PIPE, THE MAIN MUST BE POLY WRAPPED AND MARKING TAPE INSTALLED 2' ABOVE THE WATER MAIN.
 - #12 GAUGE WIRE SHALL BE TAPED TO THE TOP OF THE MAIN AND PULLED THROUGH ALL VALVE BOXES.
 - MARKING TAPE MUST BE INSTALLED 7' ABOVE THE WATER MAIN.
 - ALL ROAD CROSSING MUST BE FULL DEPTH GRANULAR BACKFILL.
 - WATERLINE TO BE PLACED 8' BEHIND CURB.

WATER MAIN CHART

Street Name	Pipe Size	Pipe Type	Total Pipe	
RETFORD DRIVE	8"	C-900	855'	851'
DENTON COURT	8"	C-900	242'	243'
DENTON COURT	6"	C-900	206'	208'
TOTAL			1333'	1302'

SERVICE LATERAL CHART

Street Name	Total Pipe	
1" COPPER SERVICE LINE	1127'	1052'
3/4" COPPER SERVICE LINE	175'	76'

"HOLEY MOLEY" SAYS:
 CAUTION
 LOCATION OF ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED UPON ABOVE GROUND EVIDENCE. (Including, but not limited to, manholes, traps, valves, & marks made upon the ground by others) AND ARE SPECULATIVE IN NATURE. THERE MAY ALSO BE OTHER EXISTING UNDERGROUND UTILITIES FOR WHICH THERE IS NO ABOVE GROUND EVIDENCE OR FOR WHICH NO ABOVE GROUND EVIDENCE WAS OBSERVED. THE EXACT LOCATIONS OF SAID EXISTING UNDERGROUND UTILITIES SHOULD BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY AND ALL CONSTRUCTION.

1-800-382-5644
 CALL TOLL FREE
 1-800-428-5200
 FOR CALLS OUTSIDE OF INDIANA

CERTIFIED: 7/1/11 *[Signature]*
STOEPPELWERTH & ASSOCIATES, INC.
 CONSULTING ENGINEERS & LAND SURVEYORS
 7985 East 108th Street, Fishers, IN 46038-2005
 Phone: (317) 849-5935 Fax: (317) 849-5942
 Toll Free: (800) 728-8917

MAPLE VILLAGE (SONOMA)
 SECTION 4B
 HAMILTON COUNTY, INDIANA

WATER PLAN
 SHEET NO. **C701**
 50690PLA-54